



AGENDA
City of Milton
Plan Commission
Tuesday, February 4, 2020
4:00 pm
MILTON CITY HALL
Council Chambers, 710 S. Janesville Street

1. **Call to Order**
2. **Approval of Agenda**
3. **Approval of Plan Commission Meeting Minutes - January 21, 2020**

Documents:

[Plan Commission Minutes 01-21-2020.pdf](#)

4. **Discussion and Possible Action Regarding an Extraterritorial Transfer of Land Along North Clear Lake Road in the Town of Milton**

Documents:

[Memo - North Clear Lake Road Land Division.pdf](#)
[Extraterritorial Transfer of Land - Application - Clear Lake Road.pdf](#)
[Extraterritorial Transfer of Land - Ariel Photo - Clear Lake Road.pdf](#)
[Extraterritorial Transfer of Land - Plat of Survey - Clear Lake Road.pdf](#)

5. **Discussion and Possible Action Regarding a Parking Lot Site Plan for Carl's Place located at 1400 East High Street.**

Documents:

[Memo - Carls Place Parking Lot Site Plan.pdf](#)
[Carls Place Site Plan.pdf](#)

6. **General Items**

7. **Motion to Adjourn**

**Please note that upon reasonable notice, at least 48 hours in advance, efforts will be made to accommodate the needs to disabled individuals through appropriate aids and services. For additional information to request this service, please contact the City Clerk's office at 868-6900, 710 S. Janesville Street, Milton, WI 53563.

Posted by Leanne Schroeder January 31, 2020 at Dave's Ace Hardware, Piggly Wiggly, Milton City Hall.

**Notice is hereby given that a majority of the Common Council may be present at this meeting at the above mentioned date and time to gather information about a subject over which they have

decision-making responsibility. This constitutes a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis. 2d 553, 494 N.W. 2d 408 (1993) and must be noticed as such, although the City Council will not take any formal action at this meeting.

**City of Milton
Plan Commission
January 21, 2020**

Call to Order

Mayor Anissa Welch called the January 21, 2020 meeting of the Plan Commission to order at 4 p.m.

Present: Mayor Anissa Welch, Ald. Larry Laehn, Director of Public Works Howard Robinson, Bob Seales, Ethel Himmel, Dave Ostrowski, and Frank Green (arrived at 4:03 p.m.).

Also Present: City Administrator Al Hulick and Administrative Services Director Inga Cushman.

Approval of Agenda

Comm. Himmel motioned to approve the agenda. Comm. Director Robinson seconded, and the motion carried.

Approval of Plan Commission Meeting Minutes - December 3, 2019

Comm. Ald. Laehn motioned to approve the minutes. Comm. Ostrowski seconded, and the motion carried.

Discussion and Possible Action Regarding a 1-Lot Certified Survey Map Located Along West High Street (Milton High School)

Administrator Hulick provided an overview of this agenda item.

Comm. Himmel motioned to approve the Preliminary CSM with easements included for the sanitary sewer on the final CSM. Comm. Ostrowski seconded, and the motion carried.

Public Hearing, Discussion and Possible Action Regarding Conditional Use Permit and Site Plan for Milton High School Located along West High Street

Comm. Frank Green arrived.

Administrator Hulick provided an overview of this agenda item.

Mayor Welch opened the Public Hearing at 4:06 p.m.

There were no public comments.

Mayor Welch closed the Public Hearing at 4:07 p.m.

All of the commissioners confirmed they reviewed the Findings of Fact.

Comm. Director Robinson motioned to approve the Conditional Use Permit with the attached site plan for the Milton High School located along West High Street with the following contingencies:

1. Recording of the final CSM at the county.

2. DNR and City Engineer approval of the storm water plan.
 3. Aisle widths for traffic that have 90 degree parking stalls need to be 26' wide. Some of the aisles are 24' to 25'. These will need to be adjusted.
 4. Arrows need to be added to the parking areas to show direction of traffic.
 5. The driveways that are across from Rainbow Drive and Orchard Row will need to be offset so that they do not directly enter the street intersection. The driveway entrance adjacent/across from Rainbow Drive will allow the current offset stop signs to become a regular stop sign intersection.
 6. Sanitary and Water mains will need to be added onto the Utility Plans
 7. A lighting plan that meets ordinance requirements and that shows foot candle power needs to be submitted.
 8. New sign location needs to be indicated.
 9. An architectural drawing that show the height of the buildings is required.
 10. Location of dumpsters needs to be indicated.
 11. The Storm Water Management Plan needs to be recorded with the property at the county.
- Comm. Seales seconded, and the motion carried.

Public Hearing, Discussion and Possible Action Regarding a Conditional Use Permit for Amanda Miller Baking Located at 129 East Madison Avenue.

Administrator Hulick provided an overview of this agenda item.

Mayor Welch opened the Public Hearing at 4:11 p.m.

There were no public comments.

Mayor Welch closed the Public Hearing at 4:12 p.m.

All of the commissioners confirmed they reviewed the Findings of Fact.

Comm. Ald. Laehn motioned to approve the Site Plan and Conditional Use Permit for Amanda Miller Baking located at 129 E. Madison Avenue. Comm. Director Robinson seconded, and the motion carried.

Public Hearing, Discussion and Possible Action to Amend the Official City Map to Delete the Vacated Portion of Parkview Drive

Administrator Hulick provided an overview of this agenda item.

Mayor Welch opened the Public Hearing at 4:16 p.m.

There were no public comments.

Mayor Welch closed the Public Hearing at 4:16 p.m.

Comm. Himmel motioned to amend the official City map to delete the vacated portion of Parkview Drive as described in Preliminary Resolution #2019-26, Vacating Portion of Parkview Drive. Comm. Ostrowski seconded, and the motion carried.

Discussion and Possible Action Regarding a Site Plan for The Meat Market Located at 329 South John Paul Road.

Comm. Director Robinson motioned to approve the site plan for The Meat Market located at 329 S. John Paul Road. Comm. Seales seconded, and the motion carried.

General Items

There were no general items.

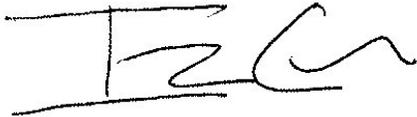
Next Meeting ~ February 4, 2020

The next meeting of the Plan Commission will take place on February 4, 2020 at 4 p.m.

Motion to Adjourn

Comm. Director Robinson motioned to adjourn the January 21, 2020 meeting of the Plan Commission at 4:20 p.m. Comm. Ostrowski seconded, and the motion carried.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'I.C.', with a stylized flourish at the end.

Inga Cushman
Administrative Services Director



Office of the City Administrator

To: Mayor Welch, Milton Plan Commission
From: Al Hulick, City Administrator
Date: February 4, 2020
Subject: Discussion and Possible Action Regarding an Extraterritorial Transfer of Land Along North Clear Lake Road in the Town of Milton

Summary

The City of Milton has received a transfer of land along Clear Lake Road within the Town of Milton. Because this land division is located within one and one-half mile from the city limits, the City of Milton has extraterritorial plat review jurisdiction over this transfer of land.

The plat of survey proposes three triangular pieces of land amongst adjoining owners along North Clear Lake Road. The land is currently developed with residential and commercial uses. The land division is outside of the City's Comprehensive Plan boundary, but does not effectively change the existing uses.

Recommendation

The City of Milton Administration has no objections to the proposed land division along North Clear Lake Road in the Town of Milton.



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AGENCY USE ONLY

Application Number: _____

Received By – Date
(MM/DD/YYYY): _____

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PRELIMINARY LAND DIVISION APPLICATION FORM

PROPOSED LAND DIVISION CLASSIFICATION:

Major Land Division
Subdivision Plat Required
 Minor Land Division
CSM for lots 35 acres or less
Plat of Survey for lots greater than 35 acres
 Transfer to Adjoining Owner
Plat of Survey or CSM
 Lot Combination
CSM Required

- Applicant has contacted Town, Rock County Planning, Economic & Community Development Agency, and City(s)/Village (if land division is within Extra-Territorial Plat Approval Jurisdiction (ETJ) area) officials and these parties have determined land division is feasible: Yes No
- Land division is consistent with Town's Comprehensive Plan – Future Land Use Map: Yes No
- Land division area is located in a Farmland Preservation zoning district certified by the State of Wisconsin: Yes No
If you answered Yes, proceed to 4. If you answered No, proceed to 5.
- Land division meets Town Base Farm Tract and any other applicable Farmland Preservation zoning district requirement: Not Applicable Yes No
- Land division will require a zoning change: Yes No

APPLICANT INFORMATION

6. LANDOWNER OR AUTHORIZED LANDOWNER REPRESENTATIVE

a. Name:	Henry J & Mary L Dikkeboom Revocable Trust			Telephone:	608-295-4226		
Address:	8800 N. Clear Lake Rd.	City:	Milton	State:	WI	Zip:	53563
b. Name:				Telephone:			
Address:		City:		State:		Zip:	

7. AGENT (SURVEYOR AND DEVELOPER)

a. Surveyor name:	Combs & Associates, Inc.			Telephone:	608-752-0575		
Address:	109 W. Milwaukee Street	City:	Janesville	State:	WI	Zip:	53548
b. Developer name:				Telephone:			
Address:		City:		State:		Zip:	

8. Identify the individual from 6. or 7. that will serve as the primary contact: 6a. 6b. 7a. 7b.

PROPERTY INFORMATION

9. Reason for application: Sale/ownership transfer Farm consolidation Create Conforming Lot Adjust Lot Line

Transfer of land between adjoining owners, we will be transferring Parcel "A" (6-13-168E.3) and Parcel "C" (6-13-168E.1) to Lot 2 (6-13-168E.2) of Certified Survey Map Volume 15, Pages 383-386 and Parcel "B" (6-13-168E.1) will be transferred to Lot 3 (6-13-168E.3).

10. Land division area location:	Town of Milton	NW 1/4 of NW 1/4
	Section 15	Tax parcel number(s) - 02602100802; 02602100801; 026021008

- Land division area is located within the Extra-Territorial Plat Approval Jurisdiction (ETJ) Area of a City(s)/Village: Yes No
If Yes, identify: **City(s)/Village of Milton**
- Land division area is located adjacent to (check all that apply):
 Local/Town road County highway State highway U.S. highway
- Landowner's contiguous property area (Square feet or acres):
- Land division area (Square feet or acres): 10,416
- Current zoning of land division area: RR
- Number of new/additional lots created by land division: None
- Future zoning of new/additional lot(s) created by land division:
- Future zoning of parent lot: RR
- Covenants or restrictions will be placed on the land division area: Yes No
If Yes, identify covenants or restrictions:
- A residential building is currently located in the land division area: Yes No
If Yes, the building utilizes a: Private onsite wastewater treatment system Public sanitary sewer system
- Public improvement construction proposal/plan will be submitted by (mm/dd/yyyy):
- Public improvement construction will begin on (mm/dd/yyyy):

APPLICANT STATEMENT AND SIGNATURE

I, as the undersigned, am a landowner applying for a land division in unincorporated Rock County, or am serving as the primary contact for said landowner. I do hereby verify that I have reviewed and completed this application form, and submitted all information as required per said documents, and that all information is correct, accurate, and true to the best of my knowledge and belief.

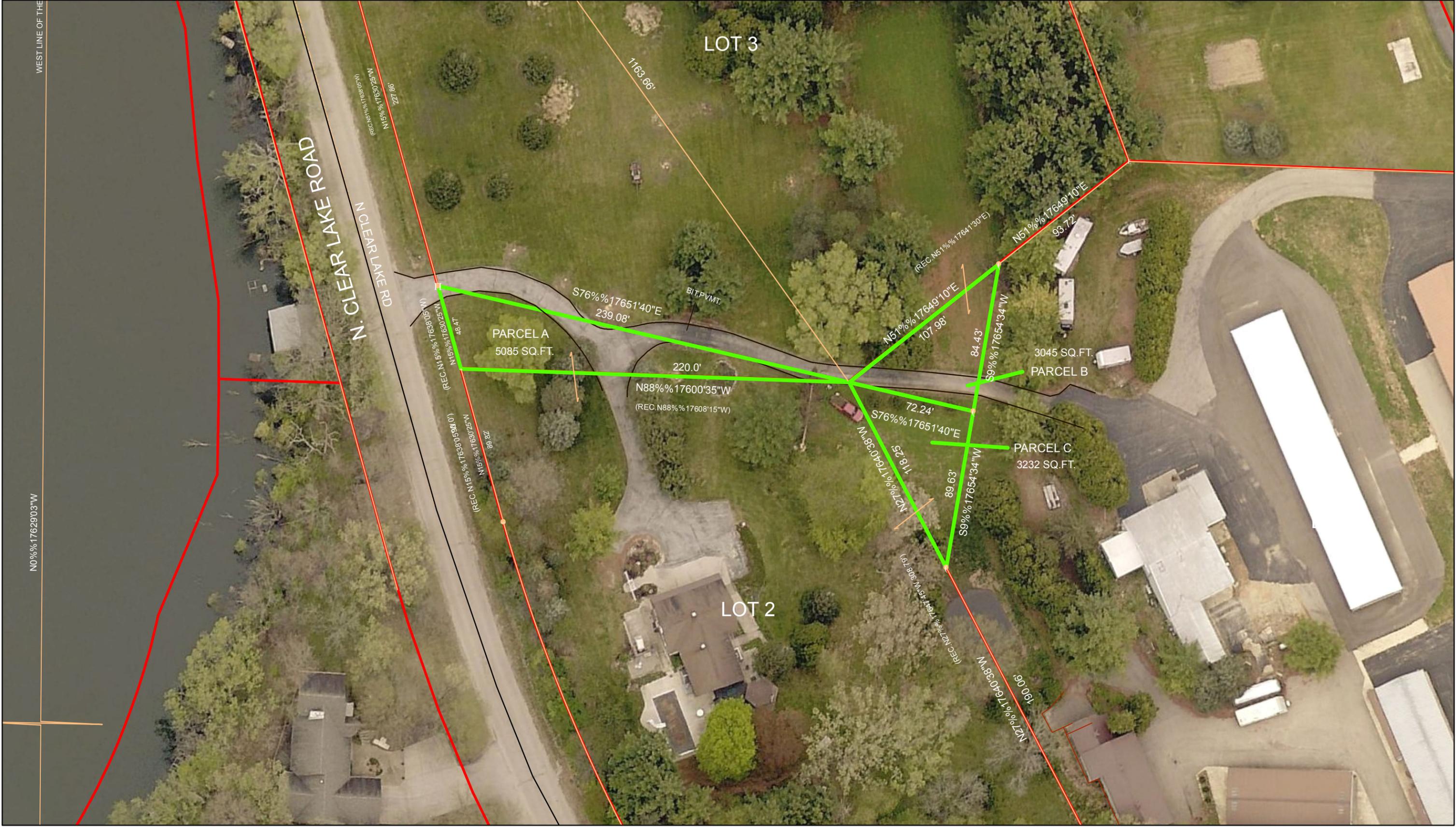
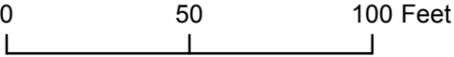
LANDOWNER/PRIMARY CONTACT SIGNATURE: <u>Roll of Lutz</u>	DATE: <u>1/10/2020</u>
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APPLICATION CHECKLIST			
	Yes	No	Comment
1. Have you included a map clearly marked "PRELIMINARY PLAT OF SURVEY, CERTIFIED SURVEY MAP OR SUBDIVISION PLAT", identifying the land division area and containing all of the following information?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
a. Location of the land division area by section, township, and range:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Approximate location and dimension of all EXISTING streets and property lines, including name and ownership (if applicable), in and adjacent to the land division area:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. EXISTING/PROPOSED County, Town, and City/Village (if applicable) zoning designations of all EXISTING/PROPOSED lot(s) and outlot(s), in and adjacent to the land division area:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
d. Approximate location and dimension of all PROPOSED lot(s), outlot(s) and blocks(s), numbered for reference, in the land division area:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
e. Indication of all PROPOSED lot(s) and outlot(s) use if other than single-family residential, in the land division area:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
f. Distance from all PROPOSED lot(s) and outlot(s) point of beginning to section corner or quarter corner, in the land division area:	<input type="checkbox"/>	<input type="checkbox"/>	
g. Approximate location, dimension (if applicable), and name (if applicable) of all of the following, whether EXISTING or PROPOSED, in the land division area:	<input type="checkbox"/>	<input type="checkbox"/>	
(1) Buildings:	<input type="checkbox"/>	<input type="checkbox"/>	
(2) Streets, alleys, and public ways:	<input type="checkbox"/>	<input type="checkbox"/>	
(3) Driveways:	<input type="checkbox"/>	<input type="checkbox"/>	
(4) Rail lines:	<input type="checkbox"/>	<input type="checkbox"/>	
(5) Private water wells or water supply systems:	<input type="checkbox"/>	<input type="checkbox"/>	
(6) Private onsite wastewater treatment systems or public sanitary sewer systems:	<input type="checkbox"/>	<input type="checkbox"/>	
(7) Any other public utilities:	<input type="checkbox"/>	<input type="checkbox"/>	
(8) Easements (Utility, drainageway, pedestrian way, etc.):	<input type="checkbox"/>	<input type="checkbox"/>	
(9) Vegetative land cover type:	<input type="checkbox"/>	<input type="checkbox"/>	
(10) Environmentally sensitive areas (Floodplain, steep slope, etc.):	<input type="checkbox"/>	<input type="checkbox"/>	
(11) Productive agricultural soils, cultural resources, and woodlands:	<input type="checkbox"/>	<input type="checkbox"/>	
(12) Surface water features:	<input type="checkbox"/>	<input type="checkbox"/>	
(13) Drainageways:	<input type="checkbox"/>	<input type="checkbox"/>	
(14) Detention or retention areas:	<input type="checkbox"/>	<input type="checkbox"/>	
(15) Cemeteries:	<input type="checkbox"/>	<input type="checkbox"/>	
(16) Bridges/culverts:	<input type="checkbox"/>	<input type="checkbox"/>	
(17) Rock outcroppings:	<input type="checkbox"/>	<input type="checkbox"/>	
h. Approximate location, dimension, name (if applicable), and purpose of all dedicated public parks or outdoor recreation lands, or any other public or private reservation, including any conditions, in the land division area:	<input type="checkbox"/>	<input type="checkbox"/>	N/A
i. Preliminary concept for connection with existing public sanitary sewer and water supply system or an alternative means of providing water supply and treatment and disposal of sewage, in the land division area:	<input type="checkbox"/>	<input type="checkbox"/>	N/A
j. Preliminary concept for collecting and discharging stormwater, in the land division area:	<input type="checkbox"/>	<input type="checkbox"/>	N/A
k. Scale, north arrow, and date of creation:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
l. Any other information required by the Agency:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Has the map been prepared at a scale not to exceed two hundred (200) feet to the inch, with the map pages numbered in sequence if more than one (1) page is required, and total map pages identified on each page?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Has the map been prepared by a land surveyor licensed in Wisconsin?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. Have you provided all required application form information and has the required party signed this application form?	<input type="checkbox"/>	<input type="checkbox"/>	
5. Have you included a hard copy of this application form and the map, an electronic copy of the map in a format compatible with the Agency's Geographic Information System (GIS), and the application fee?	<input type="checkbox"/>	<input type="checkbox"/>	

PLEASE SEND VIA POSTAL MAIL, OR HAND-DELIVER, THIS FORM, A HARD COPY AND ELECTRONIC COPY OF THE PRELIMINARY MAP, AND THE APPLICATION FEE TO:

ROCK COUNTY PLANNING, ECONOMIC & COMMUNITY DEVELOPMENT AGENCY
 51 N. MAIN ST.
 JANESVILLE, WI 53545

LD2020_001 (Dikkeboom Rev Trust)
NW 1/4 of the NW 1/4 of Section 15
Town of Milton



PLAT OF SURVEY

Parcel A:
PART OF LOT 3 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 15, PAGES 383 THRU 386 OF CERTIFIED SURVEY MAPS OF ROCK COUNTY, WISCONSIN AS DOCUMENT NO. 1155598 AND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 21, T.4N., R.13E., OF THE 4TH P.M., TOWN OF MILTON, ROCK COUNTY, WISCONSIN.

DESCRIBED AS FOLLOWS: Commencing at an aluminum monument at the NW Corner of said Section; thence S22°35'38"E 1163.66 feet to a cotton gin pin at the most Southerly Corner of said Lot 3, also being at the place of beginning for the land to be herein described; thence N51°49'10"E 72.24 feet to an iron pin; thence N15°30'25"W along the West line of said Lot, 48.47 feet to a survey spike; thence S76°51'40"E 239.08 feet to the place of beginning.

NOTE: The above description is for the transfer of land between owners of adjoining property and cannot be transferred as a separate parcel.

Parcel B:
PART OF LOT 1 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 15, PAGES 383 THRU 386 OF CERTIFIED SURVEY MAPS OF ROCK COUNTY, WISCONSIN AS DOCUMENT NO. 1155598 AND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 21, T.4N., R.13E., OF THE 4TH P.M., TOWN OF MILTON, ROCK COUNTY, WISCONSIN.

DESCRIBED AS FOLLOWS: Commencing at an aluminum monument at the NW Corner of said Section; thence S22°35'38"E 1163.66 feet to a cotton gin pin at the most Westerly Corner of said Lot, also being at the place of beginning for the land to be herein described; thence N51°49'10"E along the NW Line of said Lot, 107.98 feet to an iron pin; thence S9°54'34"W 84.43 feet to an iron pin; thence N76°51'40"W 72.24 feet to the place of beginning.

NOTE: The above description is for the transfer of land between owners of adjoining property and cannot be transferred as a separate parcel.

Parcel C:
PART OF LOT 1 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 15, PAGES 383 THRU 386 OF CERTIFIED SURVEY MAPS OF ROCK COUNTY, WISCONSIN AS DOCUMENT NO. 1155598 AND LOCATED IN THE NW 1/4 OF THE NW 1/4 OF SECTION 21, T.4N., R.13E., OF THE 4TH P.M., TOWN OF MILTON, ROCK COUNTY, WISCONSIN.

DESCRIBED AS FOLLOWS: Commencing at an aluminum monument at the NW Corner of said Section; thence S22°35'38"E 1163.66 feet to a cotton gin pin at the most Westerly Corner of said Lot, also being at the place of beginning for the land to be herein described; thence S76°51'40"E 72.24 feet to an iron pin; S9°54'34"W 89.63 feet to an iron pin on the SW Line of said Lot; thence N27°40'38"W along said SW Line 118.25 feet to the place of beginning.

NOTE: The above description is for the transfer of land between owners of adjoining property and cannot be transferred as a separate parcel.

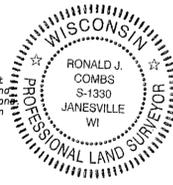
STATE OF WISCONSIN
COUNTY OF ROCK SS.

I HEREBY CERTIFY THAT I HAVE SUPERVISED THE SURVEY OF THE PROPERTY DESCRIBED ABOVE FOR THE EXCLUSIVE USE OF MARY DIKKEBOOM AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE PLAT HEREON DRAWN CORRECTLY REPRESENTS SAID SURVEY AND ITS LOCATION AND COMPLIES WITH CHAPTER A-E7.

GIVEN UNDER MY HAND AND SEAL THIS 6th DAY OF JANUARY, 2020, AT JANESVILLE, WISCONSIN.

Ronald J. Combs
Ronald J. Combs
P.L.S. Number 1330

If the surveyor's signature is not red in color, the map is a copy and may contain unauthorized alterations. The certification contained herein shall not apply to any copies.



ROCK COUNTY TREASURER'S CERTIFICATE

I hereby certify that the Property Taxes on the parent parcel are current and have been paid as of _____, 20_____.

Rock County Treasurer _____

ROCK COUNTY PLANNING AND DEVELOPMENT

This Final Land Division No. _____ is approved this _____ day of _____, 20_____.

Secretary _____

LEGEND:

- SET IRON PIN, 3/4" x 24", 1.5 LBS./LIN.FT.
- FOUND 3/4" IRON PIN
- ⊙ FOUND 1" IRON PIPE
- △ SET SURVEY SPIKE
- ▲ FOUND ALUMINUM MONUMENT
- ◊ FOUND COTTON GIN PIN
- FOUND CUT STONE MONUMENT

NOTES:

FIELD WORK COMPLETED JANUARY 3RD, 2020.

THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS, RECORDED AND UNRECORDED.

ASSUMED N0°29'03"W ALONG THE WEST LINE OF THE NW 1/4 OF SECTION 21-4-13.



	• LAND SURVEYING	DATE	1/06/20
	• LAND PLANNING	BY	s11
	• CIVIL ENGINEERING	PROJECT NO.	119-409
		CLIENT	DIKKEBOOM

109 W. Milwaukee St.
Janesville, WI 53408
www.combsurvey.com

tel: 608 752-0575
fax: 608 752-0534



Department of Public Works

To: Mayor Welch, Milton Plan Commission
From: Howard Robison, Director of Public Works
Date: February 4, 2020
Subject: Discussion and Possible Action Regarding a Parking Lot Site Plan for Carl's Place located at 1400 East High Street.

Summary

Carl Markestad, owner of Carl's Place located at 1400 East High Street, has submitted a site plan to allow for the preliminary base work for a new parking lot that will accommodate a future expansion of his existing facility. Mr. Markestad plans to submit a full site plan for his future building expansion in the spring of 2020, however, he would like to begin the preliminary site work for the parking lot. Pending approval of the Plan Commission, work can begin on the earthwork for the parking lot yet this winter in 2020.

The proposed parking lot site plan meets all City Ordinance requirements for his expansion. Once he has completed the site plan for his building addition, he will provide the City with a full plan submittal including building plans, elevations, lighting, landscaping and stormwater. The Plan Commission will review this plan submittal at a future date.

Recommendation

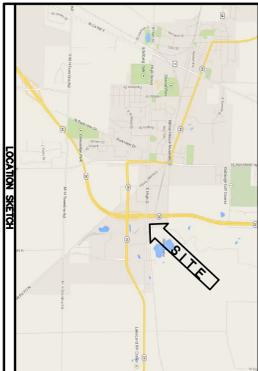
City Staff recommends approval of the current parking lot site plan to allow earthwork and parking lot improvements to commence.

SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN

PART OF LOT 1 OF A CERTIFIED SURVEY MAP
RECORDED AS DOCUMENT NO. 1357052
LOCATED IN PART OF THE SE 1/4 OF SECTION 28, TOWN 4 NORTH,
RANGE 13 EAST, CITY OF MILTON, ROCK COUNTY, WISCONSIN

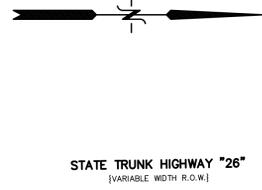
PROJECT PARCEL	
—	257 1600014
SITE ZONING	M-2 INDUSTRIAL
SITE AREA	117,408 S.F. (4.07 ACRES)
BUILDING AREA	24,000 S.F. (20.4%)
IMPERVIOUS AREA	22,023 S.F. (18.8%)
GREEN SPACE	71,385 S.F. (60.8%)
PARKING	27 SPACES (INC. 2 HANDICAP)
LAND DISTURBANCE	42,787 S.F. (0.98 ACRES)

SITE SUMMARY



- ### SEQUENCE OF CONSTRUCTION
1. OBTAIN REQUIRED PERMITS FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
 2. FLOOD PROTECT 30 FEET FROM ALL WATER BODIES WITH AN EROSION CONTROL MEASURE.
 3. INSTALL ALL APPROPRIATE EROSION CONTROL MEASURES ON SITE INCLUDING TEMPORARY SILT FENCE & STONE TRAPPING PILE PER WORK TECHNICAL STANDARDS.
 4. CONSTRUCT TEMPORARY SEDIMENT BASIN IN LOCATION OF PROPOSED INTERIOR TRAP, UTILIZE EXISTING NATURAL DEPRESSION AS TEMPORARY SEDIMENT BASIN. INSTALL SEDIMENT BASIN & WALLS TO MEET SPECIFICATIONS ON PLAN AND WORK TECHNICAL STANDARDS. COVERED BY PLUM FOR TEMPORARY SEDIMENT BASIN & DRAINAGE SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
 5. SET AND BENCHMARK POINTS IN ALL WORKING AREAS.
 6. VERIFY ALL EROSION CONTROL MEASURES ARE INSTALLED CORRECTLY.
 7. CLEAR AND REMOVE VEGETATION OVER SITE GRADING AREAS.
 8. STAKE TOPSOIL FROM ACCESS POINTS AND IN PLANNED WORK AREA OF THE SITE. STAKE TOPSOIL FROM ALL WORKING AREAS AS SPECIFIED BY WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
 9. PROVIDE FOR FILL AND COMPACTATION OF BASE FOR BUILDING AREA, FOLLOWED BY FUNDATION EXCAVATIONS IN MANNER SUITED TO OWNERS NEED.
 10. AREA OF SECOND DRAINAGE SHALL BE GRADED & GRAVELLED AND TO BE USED FOR FUTURE DEVELOPMENT.
 11. STABILIZE ALL OTHER EXPOSED SOIL AREAS WITH PROPER SEEDING AND EROSION CONTROL PER WORK TECHNICAL STANDARDS.
 12. NO DRAINAGE IS ANTICIPATED BASED ON SOILS TESTING. IF REQUIRED, DRAINAGE SHALL BE INSTALLED PER WORK TECHNICAL STANDARDS.
 13. CONSTRUCT TRAP, PUMP, CATCH BASIN AND QUIET PILE WITH INLET PROTECTION.
 14. INSTALL WATER AND SANITARY SERVICES.
 15. PRELIMINARY GRADE AND PARKING SURFACES.
 16. PRELIMINARY GRADE AND OTHER CONCRETE PLACEMENT.
 17. INSTALL GRAVEL BASE COURSE.
 18. CONSTRUCT ALL SIDEWALKS AND DRIVE CONCRETE PLACEMENT.
 19. PRELIMINARY GRADING AND DRAINAGE SHALL BE COMPLETED PRIOR TO SURFACE PAVEMENT LEFT MATTING AS SHOWN.
 20. EXISTING DISTURBED AREAS BY SEEDING WITH MATCH OR MATTING AS SHOWN.
 21. IF SEDIMENT HAS ACCUMULATED WITHIN BASIN DURING CONSTRUCTION IT SHALL BE REMOVED PRIOR TO FINISHING/EXISTING SURFACE.
 22. CONSTRUCT INTERIOR TRAP.
 23. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES FROM FINAL GRADING.
 24. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES FROM FINAL GRADING.

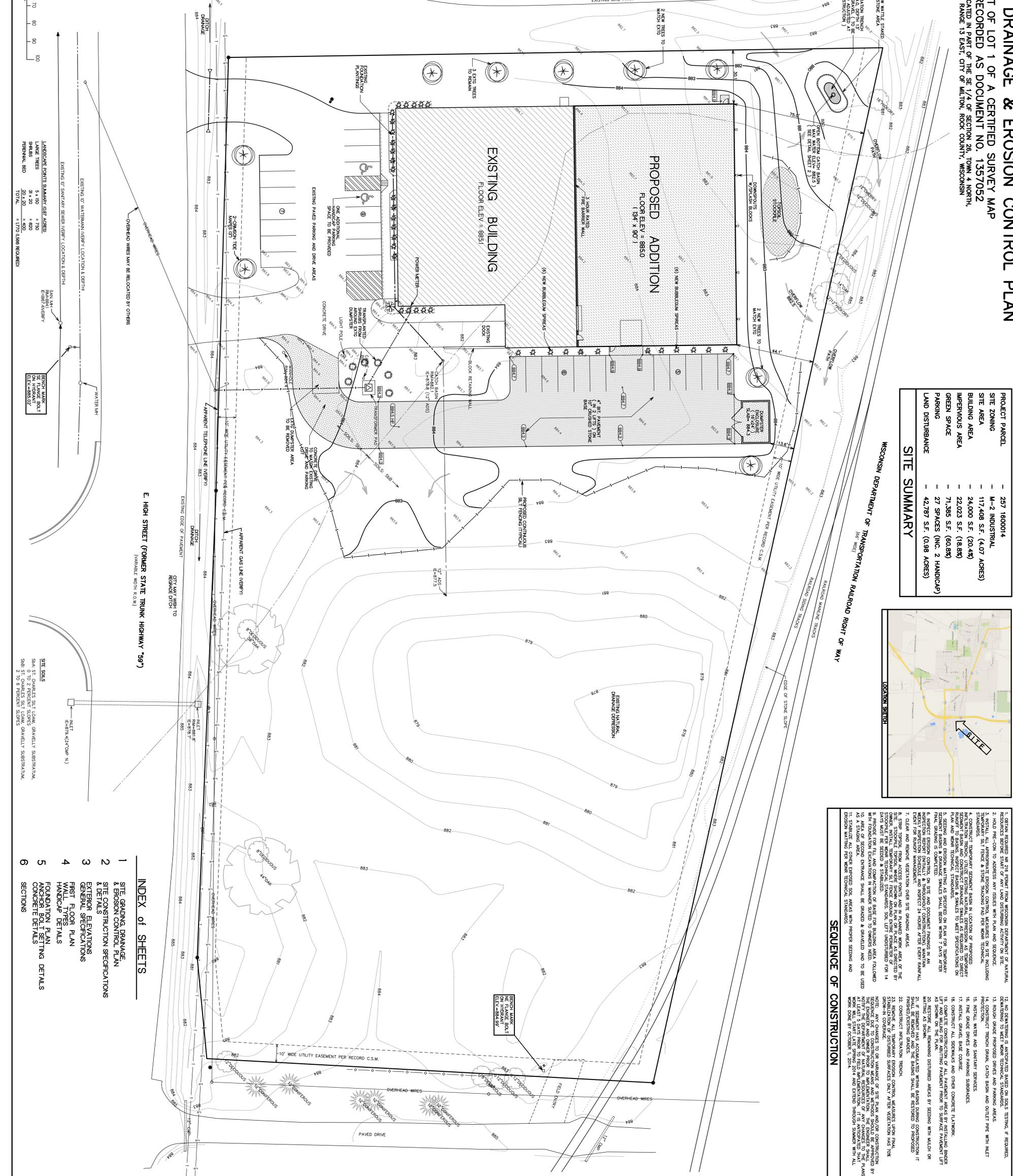
DIGESTERS HOTLINE
Toll Free (800) 242-8311
Milwaukee Area (414) 255-4328
Headquarters (414) 255-4328
www.DigestersHotline.com
WISCONSIN DEPARTMENT OF NATURAL RESOURCES
3 WORK DAYS BEFORE YOU EXCAVATE



STATE TRUNK HIGHWAY "26"
[VARIABLE WIDTH R.O.W.]

NOTE PHOTOGRAPHS ARE TO BE PROVIDED SHOWING MAXIMUM 3 FOOT CANALS FOOT CANALS AT PROPERTY LINES

- LEGEND
- FOUND IRON REBAR STAKE
 - UTILITY POLE LOCATED
 - MANHOLE LOCATED
 - HYDRANT LOCATED
 - VALVE LOCATED
 - RECORD AS



INDEX of SHEETS

- 1 SITE GRADING, DRAINAGE & EROSION CONTROL PLAN
- 2 SITE CONSTRUCTION SPECIFICATIONS & DETAILS
- 3 EXTERIOR ELEVATIONS GENERAL SPECIFICATIONS
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<p>PROJECT NO. 89338.19</p> <p>DATE 12/05/2019</p> <p>SHEET NO. 1 OF 6</p>	<p>REVISIONS</p> <p>55 12/23/19</p>	<p>FARRIS, HANSEN & ASSOCIATES, INC. ENGINEERING - ARCHITECTURE - SURVEYING</p> <p>7 RIDGWAY COURT P.O. BOX 437 ELKHORN, WISCONSIN 53121</p> <p>OFFICE: (262) 723-2098 FAX: (262) 723-5886</p>	<p>SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN</p>	<p>PROPOSED BUILDING ADDITION CARL'S PLACE</p> <p>EAST HIGH STREET CITY OF MILTON, ROCK CO., WISCONSIN</p>	
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SPECIFICATIONS FOR SITE WORK, SITE DRIVES, PARKING AREA, STORM DRAIN CONSTRUCTION, DRAINAGE AND EROSION CONTROL
CARL'S PLACE
CITY OF MILTON
ROCK COUNTY, WISCONSIN

GENERAL DESCRIPTION
 Carl Markstad, is the OWNER, and the general contractor for all work as shown on the plans and further described in the following Specifications complete, and in accordance with the Standard Specifications for Highway and Structure Construction, 2014 Edition, State of Wisconsin Department of Transportation, except Part I thereof.
 The project consists of all the drives, parking, storm drain construction, storm water management, site grading, drainage, building pad, and erosion control.
 The work that shall be done includes furnishing all labor, tools, equipment, machinery and appliances, and all materials, except where definitely specified to the contrary, and construction complete, in working order, ready for use.
 The ENGINEER, Farris, Hansen & Associates, Inc., will stake the work, once at no expense to the SUBCONTRACTOR requesting stakes however, if the SUBCONTRACTOR shall request re-staking, this work will be done at the expense of the SUBCONTRACTOR.

SITE DRIVES, PARKING AREAS, AND SITE WORK

1. STANDARD SPECIFICATIONS

All work, as shown on the plans and further described in the following specifications, shall be completed, and in accordance with "Standard Specifications for Highway and Structure Construction", Edition of 2014, State of Wisconsin Department of Transportation, except Part I thereof.

The ENGINEER will stake the work, once at no expense to the CONTRACTOR; however, if the CONTRACTOR shall request re-staking, this work will be done at his expense.

2. UNCLASSIFIED EXCAVATION

Unclassified excavation shall consist of all excavations necessary to provide a subgrade at suitable elevations such that roadways, drives, parking, building sites and lands adjacent thereto can be constructed to finished elevations shown on the plans by application of stone base course and pavement or topsoil replacement as applicable.

Payment for the unclassified excavation shall be lump sum which shall include all required transportation and disposal costs of excess materials. All excess excavated materials shall be disposed of on site in designated areas as directed by either OWNER or ENGINEER.

3. EXCAVATION AND BACK FILL

Excavate to elevations and dimensions required for performance of the work. Placement of backfill excavations and base for floor slabs shall be coordinated with the concrete CONTRACTOR.
 Frozen material shall not be used as backfill nor shall backfill be permitted on frozen ground. No construction of any kind shall bear on frozen ground.

4. COMPACTION

All fill material placed in embankment and under buildings and drives shall be compacted in lifts with suitable material. A geological engineer may be employed by the OWNER to do inspections and provide for testing.

Compact soil to not less than the following percentages of maximum density for soils which exhibit a well-defined moisture density relationship (cohesive soils) determined in accordance with ASTM D1557. Relative compaction percentages for cohesionless soils shall be determined in accordance with ASTM D2924 for soils which will not exhibit a well-defined moisture density relationship (cohesionless soils):

- A. Under Building and Paving Areas: Compact top eight inches of existing ground surface and each layer of backfill or fill material to 98 percent maximum density for cohesive soils and 90 percent relative density for cohesionless soils may be achieved by building design!
- B. Other Areas: Compact top eight inches if existing ground surface and each layer of backfill for fill material to 95 percent maximum density for cohesive soils or 90 percent relative density for cohesionless soils.

Where soil materials must be moisture conditioned before compaction, uniformly apply water to the surface. Prevent free water from appearing on the surface of soil materials during or subsequent to compaction operations.

Remove, replace or scarify all dry air soil materials that are too wet to permit compaction to the specified density.

Compact the soil materials around piping and conduit with hand-operated tampers.

Do not allow heavy vehicles, equipment, or machinery to operate directly over piping and conduit until a minimum of 24 inches of backfill has been placed and compacted over it.

No fill shall be placed without inspection and approval of the subgrade and fill material composition by a representative of the ENGINEER.

Method of test for density of soil in place shall be the Sand-Cone Method, ASTM D1556 or Nuclear Density Gauge Method, for moisture density shall be the Sand-Cone Method, ASTM D1556 or Nuclear Density Gauge Method. Relative density shall be determined by ASTM D2924-06 90 percent relative density. All building footings planned are not on a fill area and have been extended to virgin bearing soils.

Excavated materials may be used for backfill outside of pavement and building areas, provided all wood, roots and other deleterious materials are removed and subject to approval by the OWNER. Excavated materials shall be placed in fill areas only after proper moisture content, density and compaction has been achieved. All fill placed inside the building area shall be select granular imported material under slabs.

5. CATCH BASIN & INFILTRATIVE TRENCH

The catch basin shall be an open bottom structure and 48" in diameter and shall be extended down to sand & gravel and shall have a beehive grate.

It should be noted that placement of catch basins may be modified by ENGINEER prior to construction if conflicts or other conditions occur.

The infiltration trench shall be dug and have #2 stone placed in trench with geotextile fabric on sides and folded over the top with 4" of #2 stone over the top.

6. SUBSURFACE SOIL INVESTIGATION

The grading SUBCONTRACTOR shall be responsible in formulating his own opinion of the soils to be encountered and to what extent testing or investigation is required for him to formulate his bid. Limited soils testing has been done in new area of work and sand and gravel is a minimum of over 10' down.

7. FILL

Place the select granular fill under the interior floor slab on-grade and finish graded and compacted subgrade surfaces to the thickness indicated. Maintain optimum moisture content for compacting material during placement operations.

8. SUBGRADE INSPECTION

Upon completion of final subgrade work and prior to the placement of crushed aggregate base material, the roadways and building pad areas will be inspected by the Engineer to check that conformance to the proposed grades is maintained. In addition, all subgrade shall be test rolled with a loaded quad-axle truck with the ENGINEER present before base course placement is started.

9. CRUSHED AGGREGATE BASE COURSE

Crushed aggregate base course shall be ten inches (10") thick for parking areas and placed in a minimum of two lifts and shall conform to Gradation No. 2 as specified in accordance with the State Specifications' Section 305.2. All crushed aggregate base course shall be compacted with the water truck, grader and vibrator roller.

The base course shall be crushed stone and shall be constructed in accordance with the requirements of Section 305.2 of the State Specifications.

If undercut and compacted granular fill is ordered by the ENGINEER at the time of excavating for the subgrade, payment shall be made as an extra cost. All subgrade shall be test rolled with loaded quad-axle truck with ENGINEER present before base course placement is started.

10. BITUMINOUS CONCRETE PAVEMENT

Bituminous concrete pavement shall be HW-1T 1 1/2" inch surface lift and HW-MT for 2" binder lift. (OWNER may delay paving operations)

The materials and methods used in application of the bituminous concrete pavement shall comply with the general requirements of Section 450 of the "State Specifications". Asphalt shall be Type MC complying with AASHTO M82 and aggregates to Sub-section 460.2.2 of the "State Specifications". Asphalt shall be Type MC complying with AASHTO M82 and aggregates to Sub-section 460.2.2 of the "State Specifications".

When paving is completed, the surface shall be finished to a minimum 1% cross-slope over aggregate. All pavement in parking areas to have a minimum 1% slope.

11. CONCRETE

All concrete used on this project shall be air-entraining, G-49 mix, with a minimum 28 day strength of 4000 psi. All concrete shall be placed in lifts of 500 mm maximum thickness. All concrete shall apply unless otherwise modified therein or waived by the ENGINEER. Mix designs should be provided to the OWNER. Course aggregate shall be proportioned between Size No. 1 and No. 2 to provide suitable workability with a 6 percent air content plus or minus 1.5 percent.

12. SALVAGE, STOCKPILE & REPLACEMENT OF TOPSOIL

All topsoil on areas to be disturbed shall be stripped and stockpiled in areas as indicated on the plans or otherwise approved by the ENGINEER.

After excavating, grading and stone base is placed a minimum 6" topsoil shall be replaced and graded. All work shall be performed in accordance with the requirements of Section 625 of the State Specifications. All excess topsoil shall remain the property of the OWNER and be placed in fill locations outside building site areas.

13. TIME PERIOD FOR PAVING

Installation of the binder course shall be done after all foundation work and building framing in the summer of 2020. The surface course shall be constructed at the same time with finish work after resurpacing. The CONTRACTOR shall provide for any tack oil coat over any existing pavement required.

Prior to the paving operation areas shall be regraded and additional crushed gravel provided and compacted to bring the base course to grades as shown on the plans. The ENGINEER shall stake base course grades (red top) once for CONTRACTORS use prior to the paving work as required. The base course shall be proof rolled before paving.

14. SEEDING, MULCHING & FERTILIZER

Preparation of all seed beds, sowing, and other requirements shall be in accordance with Section 630 of the State Specifications.

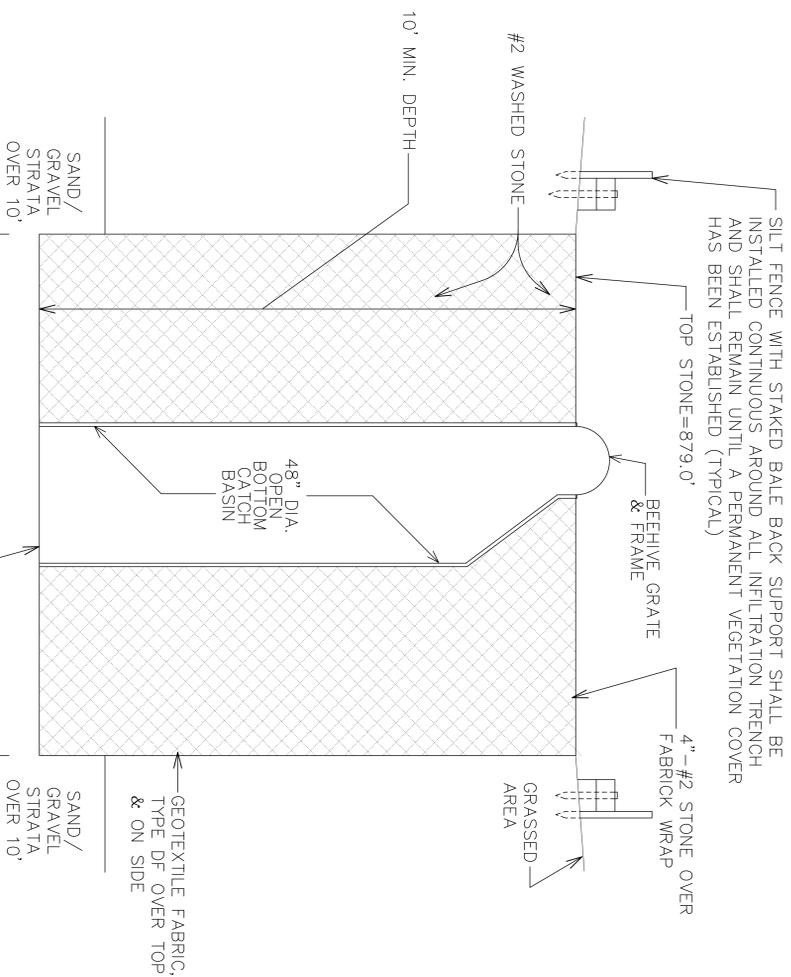
All seeded areas shall be mulched in accordance with Section 627 of the "State Specifications". Fertilizer to be used shall be as defined under Sub-section 629.1 and applied at a rate of 7 pounds per 1000 square feet of area following procedures conforming to Sub-section 623.3 of the "State Specifications" for all areas seeded or sodded.

The terraces, finished areas along pond areas and perimeters shall be seeded, mulched and fertilized except as may be otherwise noted on the plans. All disturbed areas shall be prepared and seeded with Seed Mixture No. 20 applied at a rate of 5 pounds per 1000 square feet area.

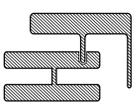
15. EROSION CONTROL

The Contractor shall use the current Wisconsin Department of Natural Resources Construction Site Erosion & Sediment Control Standards as a reference and guide for erosion control practices. The Contractor shall comply with the provisions of the erosion control plans and/or local ordinances.

All erosion and sediment control measures should be constructed and maintained in accordance with these Standards. Sediment control measures should be adjusted to meet field conditions at the time of construction and installed prior to any grading or disturbance of existing surface materials. Intended purpose is accomplished. Sediment control structures should be provided to ensure proper erosion control and maintenance of all sediment control structures should be provided to ensure proper erosion control. Any sediment control structures shall be designed for structures. Sediment control measures should not be removed until all construction site exits to prevent tracking of soil. Any tracked soil should be collected from paved roads located near the construction site. Following initial soil disturbance and work activities in the area, permanent or temporary stabilization shall be completed and stabilized within fourteen calendar days of work completion.



- NOTES:**
1. EXCAVATE TRENCH TO UNDERLYING GRANULAR SOILS, DEPTH OF STONE TO BE FIELD DETERMINED AT TIME OF EXCAVATION.
 2. INFILTRATION BASINS SHALL BE DUG WITH BACKHOE FOR AREAS SHOWN. NO HEAVY TRACK MACHINERY ALLOWED.



PROPOSED BUILDING
CARL'S PLACE
 EAST HIGH STREET
 CITY OF MILTON, ROCK CO., WISCONSIN

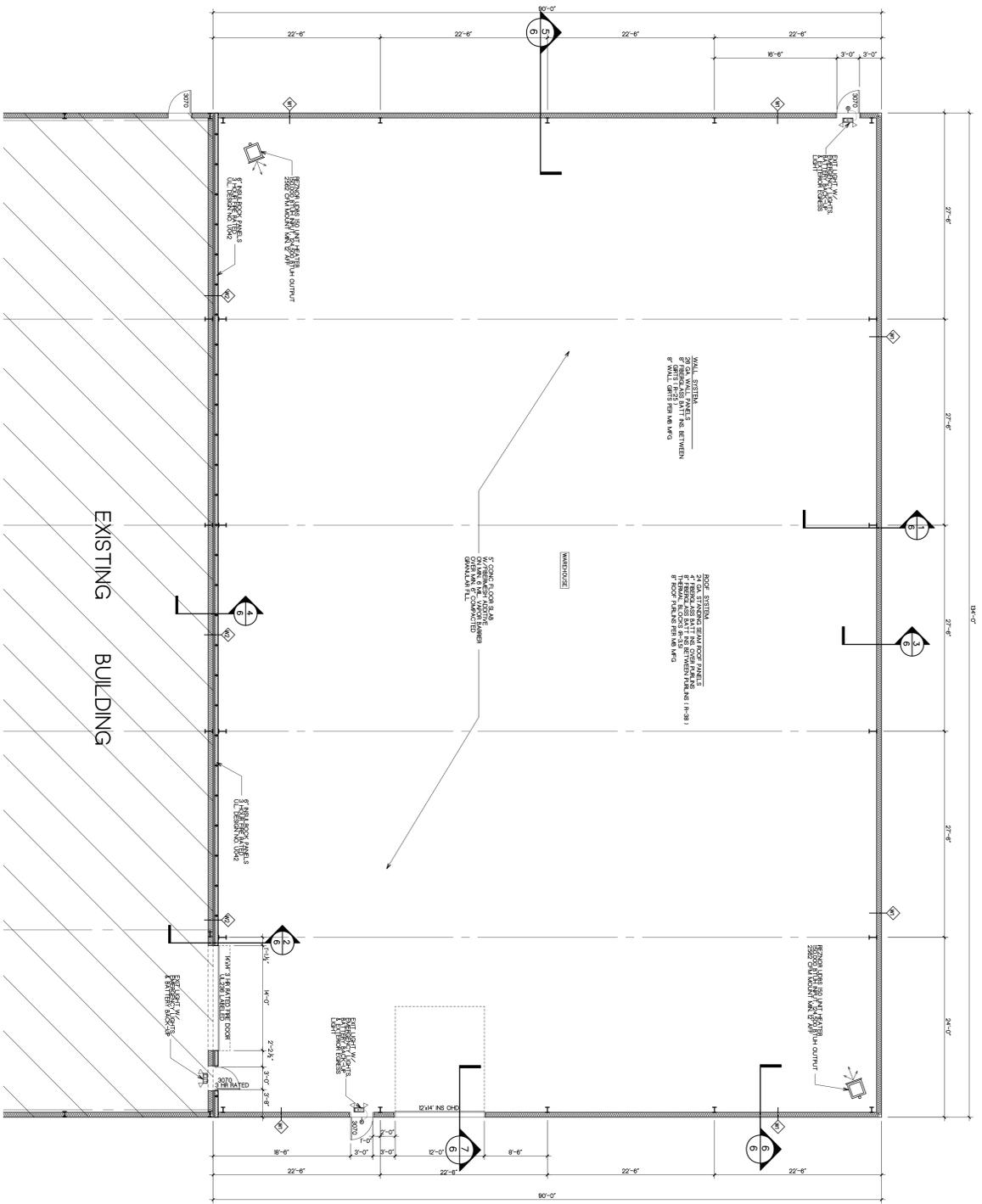
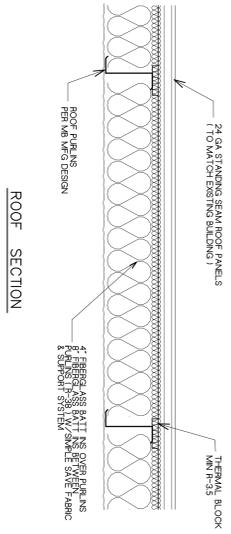
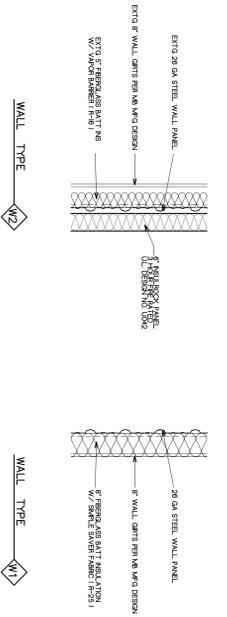
SITE CONSTRUCTION
SPECIFICATIONS & DETAILS

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 ENGINEERING - ARCHITECTURE - SURVEYING
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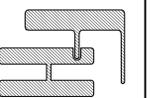
REVISIONS
 NONE
 12/23/2019

PROJECT NO.
8938.19
 DATE
 12/10/2019
 SHEET NO.
2 of 6

WALL TYPE



FIRST FLOOR PLAN
SCALE 1/8\"/>



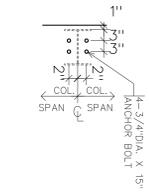
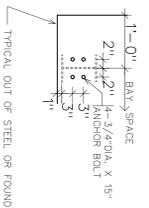
PROPOSED BUILDING
CARL'S PLACE
EAST HIGH STREET
CITY OF MILTON, ROCK CO., WISCONSIN

FIRST FLOOR PLAN
WALL TYPES, DETAILS

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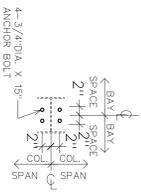
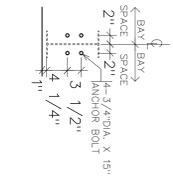
PROJECT NO.
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12/04/2019
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ANCHOR BOLT SETTING DETAILS



CORNER COLUMN
AB1

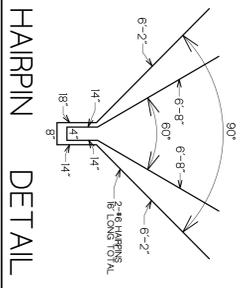
ENDWALL COLUMN
AB2



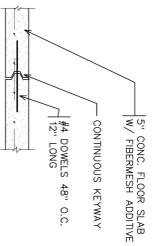
SIDEWALL COLUMN
AB3

INTERIOR COLUMN
AB4

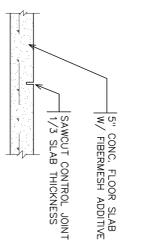
NOTE: VERIFY ALL ANCHOR BOLT SETTING DETAILS WITH MANUFACTURER PRIOR TO CONSTRUCTION



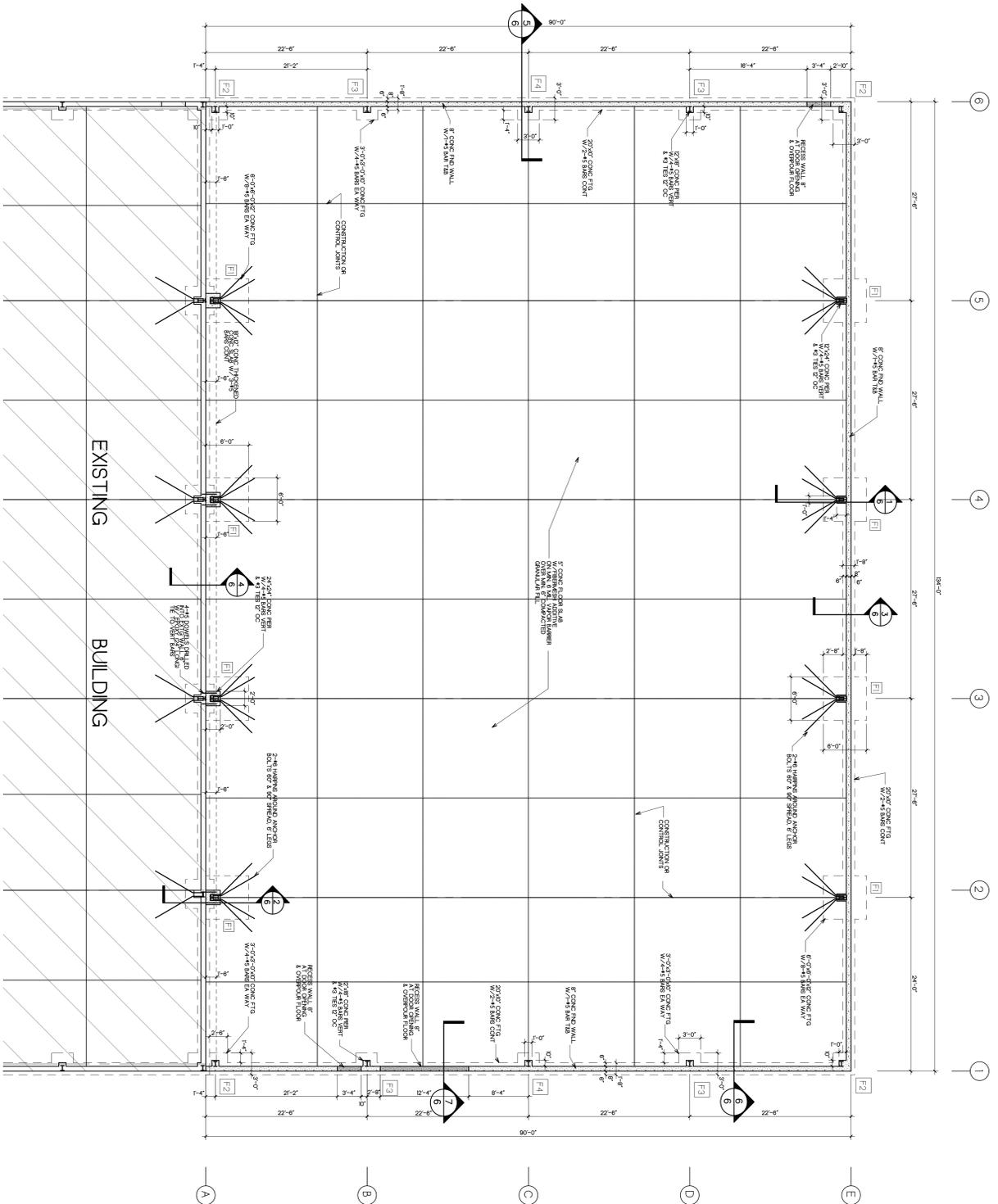
HAIRPIN
DETAIL



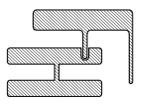
CONSTRUCTION JOINT



CONTROL JOINT



FOUNDATION PLAN
SCALE 1/8"=1'-0"

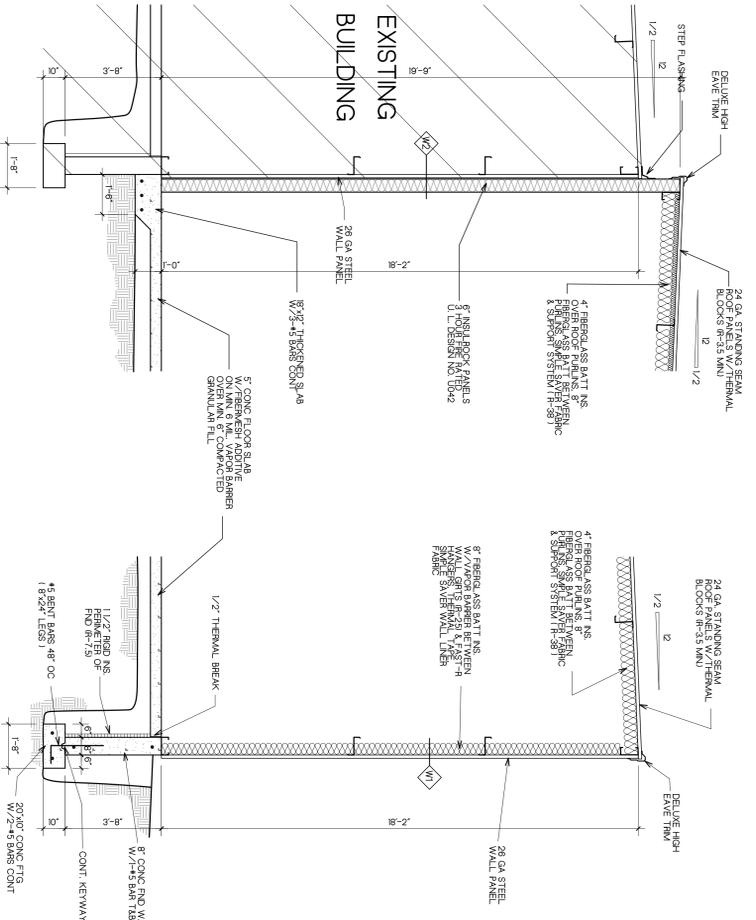


PROPOSED BUILDING
CARL'S PLACE
EAST HIGH STREET
CITY OF MILTON, ROCK CO., WISCONSIN

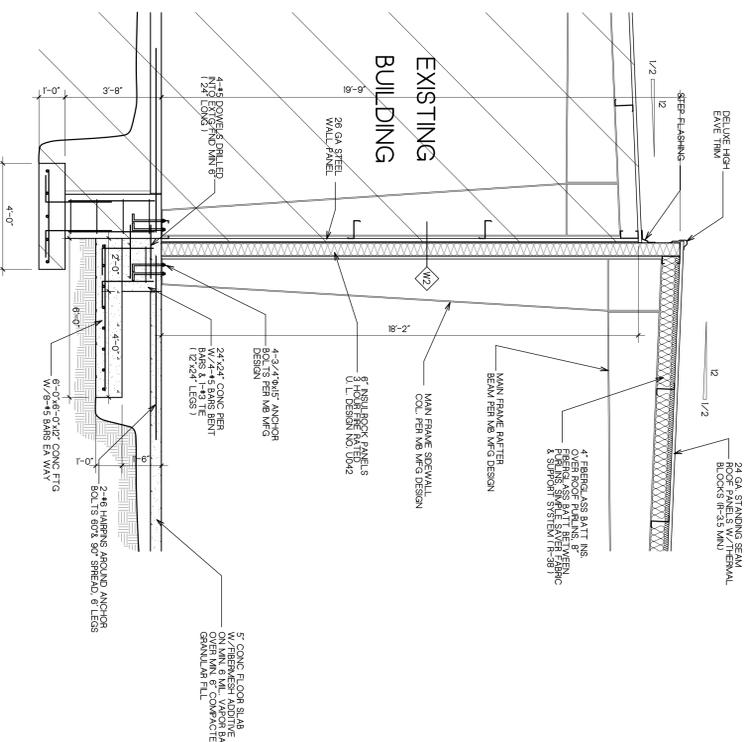
FOUNDATION PLAN
ANCHOR BOLT SETTING DETAILS

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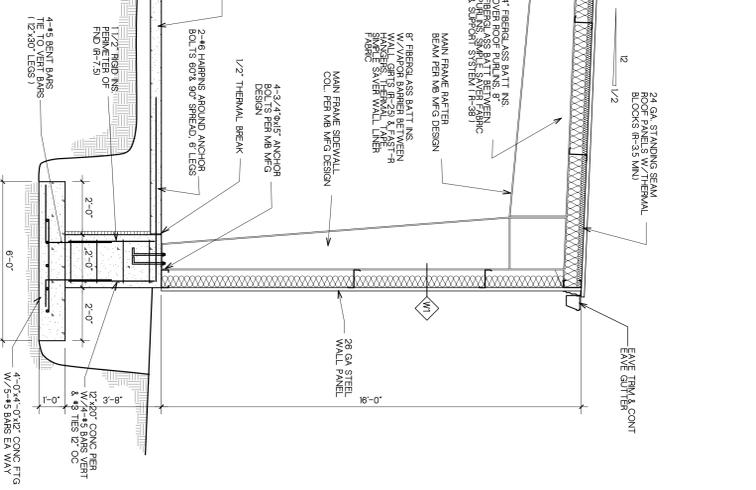
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DATE 12/04/2019
SHEET NO. 5 of 6



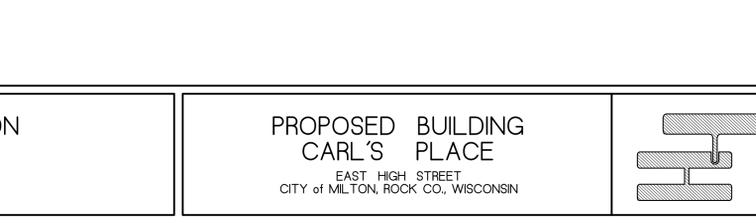
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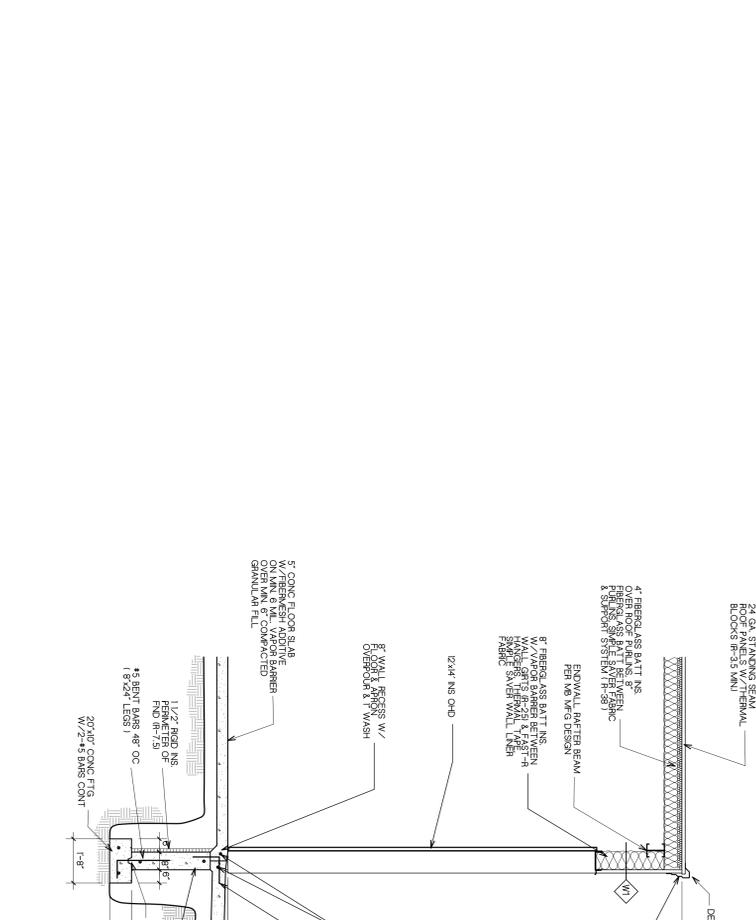
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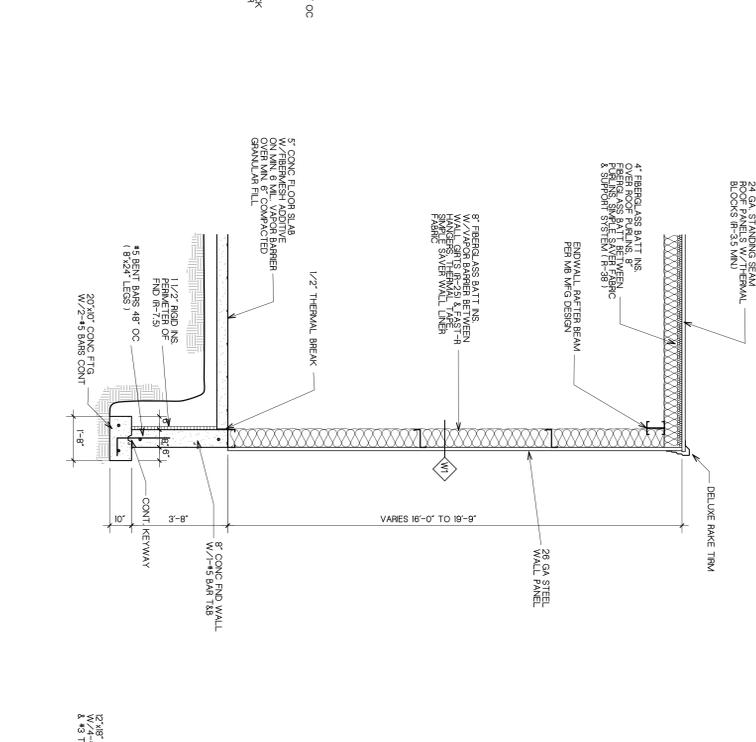
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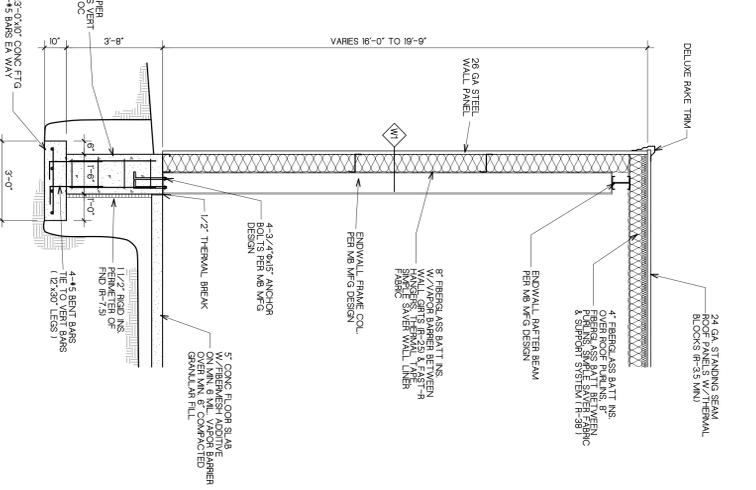
SECTION 1
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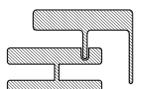
SECTION 7
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SECTION 6
SCALE 3/8"=1'-0"



SECTION 5
SCALE 3/8"=1'-0"



**PROPOSED BUILDING
CARL'S PLACE**
EAST HIGH STREET
CITY of MILTON, ROCK CO., WISCONSIN

SECTION

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PROJECT NO:
8938
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