



AGENDA
City of Milton
Plan Commission
Tuesday, October 20, 2020
4:00 pm

PLEASE NOTE: In-person attendance by members of the public is temporarily discouraged due to COVID-19 physical distancing protocols pursuant to the Rock County Health Department Reopening Phased Plan, dated May 21, 2020, which discourages public gatherings. Members of the public may monitor this meeting at: <https://us02web.zoom.us/j/82801238669?pwd=aUExTmNVelp4bGJCa3NKQzlyQzViQT09>

Any person who is unable to access the meeting via the internet link may call 1(312) 626-6799 to monitor the meeting via telephone.

Meeting ID:828 0123 8669

Passcode: 897664

1. Call to Order
2. Approval of Agenda
3. Approval of Plan Commission Meeting Minutes - October 6, 2020

Documents:

[Plan Commission Minutes 10-06-2020.pdf](#)

4. Discussion and Possible Action Regarding a Site Plan and Conditional Use Permit for Catch the Wave Swim Club Along East High Street and Gateway Drive

Documents:

[Memo - Catch the Wave.pdf](#)
[Catch The Wave Findings of Fact and Site Plan.pdf](#)
[CUP Application - Catch The Wave.pdf](#)

5. Discussion and Possible Action Regarding a Set Back Exception for Jorge Medrano at 17 Front Street

Documents:

[Memo - 17 Front St - Setback Exception.pdf](#)
[17 Front Street Photos.pdf](#)
[17 Front Street Ordinance for Setback Exceptions.pdf](#)

6. Discussion and Possible Action Regarding Determination on Substantial Change to Site Plan and Possible Approval of Revised Site Plan For Red Hawk Apartments Located Along Parkview Drive

Documents:

Memo - Red Hawk Apartments - Parkview Dr.pdf
Red Hawk Apartments - DNR Email.pdf
Red Hawk Apartments - DSPS Email.pdf
Red Hawk Apartments C-7.01 - Parkview Dr Roadway Plan and Profile.pdf
Red Hawk Apartments C-7.02 - Parkview Dr Roadway Plan and Profile.pdf
Red Hawk Apartments C-7.03 - Blanche Dr Roadway Plan and Profile.pdf
Red Hawk Apartments C-7.04 - Woodcrest Ln Roadway Plan and Profile.pdf
Red Hawk Impervious Area Exhibit.pdf
2020-10-13 Milton Response Letter.pdf
FP0.1 FIRE PROTECTION PLANS AND NOTES.pdf
PUD Zoning Ordinance.pdf

7. Discussion and possible action on the Comprehensive Outdoor Recreation Plan (CORP)

Documents:

Memo - Draft 2020-2024 CORP.pdf
DRAFT CORP 2020-2024.pdf

8. General Items

9. Next Meeting ~ November 4, 2020 (Wednesday)

10. Motion to Adjourn

**Please note that upon reasonable notice, at least 48 hours in advance, efforts will be made to accommodate the needs to disabled individuals through appropriate aids and services. For additional information to request this service, please contact the City Clerk's office at 868-6900, 710 S. Janesville Street, Milton, WI 53563.

Posted by Leanne Schroeder October 16, 2020 at Dave's Ace Hardware, Piggly Wiggly, Milton City Hall.

**Notice is hereby given that a majority of the Common Council may be present at this meeting at the above mentioned date and time to gather information about a subject over which they have decision-making responsibility. This constitutes a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis. 2d 553, 494 N.W. 2d 408 (1993) and must be noticed as such, although the City Council will not take any formal action at this meeting.

**City of Milton
Plan Commission
October 6, 2020**

Call to Order

Mayor Anissa Welch called the October 6, 2020 meeting of the Plan Commission to order at 4 p.m.

Present: Mayor Anissa Welch, Ald. Larry Laehn, Public Works Director Howard Robinson, Dave Ostrowski, Bob Seales, and Ethel Himmel.

Also Present: City Administrator Al Hulick, City Engineer Mark Langer, and Administrative Services Director Inga Cushman.

Approval of Agenda

Comm. Himmel motioned to approve the agenda. Comm. Ostrowski seconded, and the motion carried.

Approval of Plan Commission Meeting Minutes - September 1, 2020

Comm. Ald. Laehn motioned to approve the minutes. Comm. Ostrowski seconded, and the motion carried.

Public Hearing, Discussion and Possible Action Regarding a Conditional Use Permit and Site Plan for 401K Properties Located at 645 College Street

Administrator Hulick provided an overview of the agenda item.

Mayor Welch opened the public hearing for the conditional use permit at 4:03 p.m.

Russ Antos, 631 College Street – Asked whether there would be an increase in parking activity that may affect his property.

Robert Rippberger, owner of 401K Properties, responded to R. Antos' concerns.

Mayor Welch closed the public hearing at 4:10 p.m.

The commission affirmed they all reviewed the findings of fact.

Comm. Seales motioned to recommend approval to Common Council of the Conditional Use Permit for 401K Properties located at 645 College Street with the condition all vehicles for sale will be stored indoors. Comm. Himmel seconded, and the motion carried.

Comm. Himmel motioned to approve the site plan for 401K Properties located at 645 College Street. Comm. Ald. Laehn seconded, and the motion carried.

Discussion and Possible Action Regarding a Site Plan for DQ Grill and Chill Located on Gateway Drive

Administrator Hulick provided an overview of the agenda item.

Comm. Director Robinson motioned to approve the site plan for DQ Grill and Chill located on Gateway Drive with the following contingencies:

- Storm Water Plan - Required to indicate revision dates and language describing the drainage pipes, mains, inlets, cleanouts, etc.
- The biofilter (onsite stormwater area) can only be mowed to a height of no less than 6". City Engineer Mark Langer will verify these corrections when submitted.
- Roof top HVAC units will require screening.

Comm. Seales seconded, and the motion carried.

General Items

There were no general items.

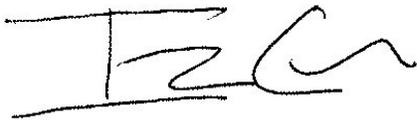
Next Meeting ~ October 20, 2020

The next meeting of the Plan Commission will take place on October 20, 2020 at 4 p.m.

Motion to Adjourn

Comm. Director Robinson motioned to adjourn the October 6, 2020 meeting of the Plan Commission at 4:32 p.m. Comm. Himmel seconded, and the motion carried.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'I. Cushman', written over a horizontal line.

Inga Cushman
Administrative Services Director



Department of Public Works

To: Mayor Welch, Milton Plan Commission
From: Howard Robinson, Director of Public Works
Date: October 20, 2020
Subject: Discussion and Possible Action Regarding Approval of Site Plan and Conditional Use Permit Submitted by Catch the Wave Swim Club for Construction of a Swimming Facility with a Caretaker Residence at the South West Corner of East High Street and Gateway Drive.

Summary

Catch the Wave Swim Club has submitted a site plan for the construction of a swimming facility at the South West Corner of East High Street and Gateway Drive and a Conditional Use Permit application to allow for a caretaker residence in the facility. A caretaker residence is allowed by ordinance. The zoning for this property is M-2 which allows a conditional use permit to be granted if M-1 zoning allows the requested conditional use. This request is allowed in M-1.

A site plan has been submitted. The site plan meets ordinance requirements with the contingency that a Utility Plan and a DNR Erosion Plan need to be submitted, including a Storm Water Maintenance Plan if required by the city engineer.

The site plan can be approved but the Conditional Use Permit will need to wait for approval until the November 4th meeting. The newspaper failed to publish this twice so the first legal day for the public hearing is November 4th. The city has received no concerns about this project.

Recommendation

City staff recommends approval of the site plan and conducting the Public Hearing on November 4th for possible approval of the Conditional Use Permit for a caretaker residence.

CITY OF MILTON
PLAN COMMISSION – BUSINESS AND MANUFACTURING ZONING

Conditional Use Permit Findings of Fact

Applicant Name: Catch The Wave (circle one) Property Owner Tenant

Property Address: T.B.D Please note: if applicant is Tenant of said property, written authorization for this Conditional Use Permit request must be submitted as an attachment.

Conditional Use Permit Request: Caretaker Residence

Applicable Ordinance Section: 78-844 Zoning of Property: M2

Plan Commission Public Hearing Date: October 20, 2020

Please note: Attendance at the Plan Commission public hearing is required in the case of additional questions or submission of additional findings that pertain to the Conditional Use Permit request.

.....
This Findings of Fact is intended to document compliance with the provisions of Sec. 78-91(b), which states that:

Prior to approval or denial by the common council, the plan commission shall review the applicable facts pertaining to the proposed conditional use as found in this division and shall recommend approval or denial of the conditional use after public hearing and consideration of the purpose and intent of the district, the purpose and intent of this chapter, the standards applicable to conditional uses in this division, the standards for evaluating conditional uses enumerated in division 6 of this article, and the performance standards enumerated in division 2, article IV of this chapter.

The Plan Commission has considered the standards described below in light of the evidence and testimony presented by the applicant and the public regarding the CUP request. If these Conditional Use Permit Findings of Fact are approved by the Plan Commission, they shall be incorporated into its decision to recommend approval or denial of the CUP application, including any changes adopted by the Commission.

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II. THE PURPOSE AND INTENT OF THIS CHAPTER.

Pursuant to sec. 78-3, the purpose of Chapter 78 is to:

- a. Promote the comfort, health, safety, morals, prosperity, aesthetics and general welfare of this community;
- b. Regulate and restrict the use of all lands and waters;
- c. Regulate and restrict the height, number of stories and size of buildings and other structures, the percentage of lot that may be occupied, the size of yards, courts and other open spaces, the density of population, and the location and use of buildings, structures and land for trade, industry, residence or other purposes;
- d. Further the appropriate use of land and conservation of natural resources;
- e. Stabilize and protect property values;
- f. Preserve and promote the beauty of the community;
- g. Preserve productive and historic agricultural soils; and
- h. Implement the community's master plan or plan components.

III. THE STANDARDS APPLICABLE TO CONDITIONAL USES IN THIS DIVISION.

These standards are described in sec. 78-93 as follows:

- a. The location, nature and size of the proposed use.
- b. The size of the site in relation to it.
- c. The location of the site with respect to existing or future roads giving access to it.
- d. Its compatibility with existing uses on land adjacent thereto.
- e. Its harmony with the future development of the district.
- f. Existing topography, drainage, soils types, and vegetative cover.
- g. Its relationship to the public interest, the purpose and intent of Chapter 78 and substantial justice to all parties concerned

IV. THE STANDARDS FOR EVALUATING CONDITIONAL USES ENUMERATED IN DIVISION 6 OF THIS ARTICLE.

Division 6 of Article II contains sections 78-181 through 78-187.

a. Sec. 78-182. Site design and physical characteristics.

Site design and physical characteristics to be considered are as follows:

- (1) Existing topography, drainage patterns and vegetative cover and the suitability of the proposed use in this regard.
- (2) Availability of water, sewer, rail and other services and the utility requirements of the proposed site.
- (3) Where public sewers are not available, the percolation characteristics of the soil.
- (4) Adequacy of the proposed internal circulation system, including safety consideration.
- (5) Access to sites from the internal circulation system.
- (6) The costs of providing various public services.
- (7) Appearance--how the area will look.

b. Sec. 78-183. Site location relative to the public road network.

Site location considerations relative to the public road network shall be as follows:

- (1) Convenient access to a public road network--safety of access points.
- (2) Visibility from the proposed road and the need for visibility.
- (3) Location to provide access primarily by righthand turning movements.

c. Sec. 78-184. Land use.

Land use considerations include the following:

- (1) Compatibility with existing or proposed uses and population density in the area.
- (2) Relation to any existing or proposed development at nearby interchanges.
- (3) Relation to recommendations in existing land use or comprehensive plans.

d. Sec. 78-185. Traffic generation.

Traffic generation considerations shall be as follows:

- (1) Amount of daily and peak-hour traffic to be generated, related to site size; traffic to be subclassified as to arterial, collector and local streets.
- (2) Amount of traffic generated relative to existing and anticipated ultimate generated traffic in the area.

- (3) Expected composition of site-generated traffic by vehicle types.
- (4) Effect of site-generated traffic on the operation of the area.
- (5) Safety and convenience to future users.

e. Sec. 78-186. Community effects.

Community effects to be considered shall be as follows:

- (1) Immediate and long range tax base.
- (2) Access to market and service area.
- (3) Relation to scenic or recreation values.
- (4) Relation to the public interest, the purpose and intent of this chapter and substantial justice to all parties concerned.
- (5) Compliance with the comprehensive (master) plan's goals and objectives.
- (6) Relation of the project density to population density in the surrounding area.

f. Sec. 78-187. Other relevant factors.

Other relevant factors are as follows:

- (1) The performance standards in division 2, article IV of this chapter.
See Section V of these Conclusions and Findings of Fact.
- (2) Additional impacts.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

V. THE PERFORMANCE STANDARDS ENUMERATED IN DIVISION 2, ARTICLE IV OF THIS CHAPTER.

Division 2, Article IV of Chapter 78 contains performance standards listed in Ordinance Sections 78-1052 through 78-1149. Section 78-1051 states that "no structure, land, or water shall hereafter be used except in compliance with their district regulations and with the performance standards of this division."

Subdivision I

a. Sec. 78-1052. Air pollution.

No activity shall emit any fly ash, dust, fumes, vapors, mists or gases in such quantities as to cause soiling or danger to the health of persons, animals, vegetation or other forms of property. No activity shall emit any liquid or solid particles in concentrations exceeding 0.3 grains per cubic foot of the conveying gas nor any color visible smoke equal to or darker than No. 2 on the Ringelmann chart described in the United States Bureau of Mine's Information Circular 7719.

b. Sec. 78-1053. Fire and explosive hazards.

All activities involving the manufacturing, utilization, processing or storage of inflammable and explosive materials shall be provided with adequate safety devices against the hazard of fire and explosion and with adequate firefighting and fire suppression equipment and devices that are standard in the industry. All materials that range from active to intense burning shall be manufactured, utilized, processed and stored only in completely enclosed buildings which have

incombustible exterior walls and an automatic fire extinguishing system. The aboveground storage capacity of materials that produce flammable or explosive vapors shall not exceed the following:

Closed cup flashpoint	Gallons
Over 187 degrees Fahrenheit	400,000
105 degrees to 187 degrees Fahrenheit	200,000
Below 105 degrees Fahrenheit	100,000

c. Sec. 78-1054. Glare and heat.

No activity shall emit glare or heat that is visible or measurable outside its premises except activities in the M-2 industrial district which may emit direct or sky reflected glare which shall not be visible outside their district. All operations producing intense glare or heat shall be conducted within a completely enclosed building. Exposed sources of light shall be shielded so as not to be visible outside their premises.

d. Sec. 78-1055. Liquid or solid wastes.

No activity shall discharge at any point onto any land or into any water or public sewer any materials of such nature, quantity, noxiousness, toxicity or temperature which can contaminate, pollute or harm the quantity or quality of any water supply, can cause the emission of dangerous or offensive elements, can overload the existing municipal utilities or can injure or damage persons or property.

e. Sec. 78-1056. Noise.

(a) No activity shall produce a sound level that is audible outside the M-1 or M-2 district boundaries which exceeds the following sound level measured by a sound level meter and associate octave band filter:

Octave Band Frequency (cycles per second)	SoundLevel (decibels)
0 to 75	79
75 to 150	74
150 to 300	66
300 to 600	59
600 to 1,200	53
1,200 to 2,400	47
2,400 to 4,800	41
Above 4,800	39

(b) No activity in any other district shall produce a sound level outside its premises that exceeds the following:

Octave Band Frequency (cycles per second)	SoundLevel(decibels)
0 to 75	72
75 to 150	67
150 to 300	59
300 to 600	52
600 to 1,200	46
1,200 to 2,400	40
2,400 to 4,800	34
Above 4,800	32

- (c) All noise shall be so muffled or otherwise controlled as not to become objectionable due to intermittence, duration, beat frequency, impulse character, periodic character or shrillness.

f. Sec. 78-1057. Odors.

No activity shall emit any odorous matter of such nature or quantity as to be offensive, obnoxious or unhealthful outside their premises. The guide for determining odor measurement and control shall be Wis. Admin. Code § NR 154.18. Agriculture odors associated with normal agricultural activities are exempted from this section.

g. Sec. 78-1058. Radioactivity and electrical disturbances.

No activity shall emit radioactivity or electrical disturbances outside its premises that are dangerous or adversely affect the use of neighboring premises.

h. Sec. 78-1059. Vibration.

No activity in any district except the M-2 industrial district shall emit vibrations which are discernible without instruments outside its premises. No activity in an M-2 industrial district shall emit vibrations which exceed the following displacement measured with a three-component measuring system:

Frequency (cycles per second)	Outside the Premises	Outside the District
0 to 10	0.0020	0.0004
10 to 20	0.0010	0.0002
20 to 30	0.0006	0.0001
30 to 40	0.0004	0.0001
40 to 50	0.0003	0.0001
50 and over	0.0002	0.0001

i. Sec. 78-1060. Water quality protection.

- (a) No activity shall locate, store, discharge or permit the discharge of any treated, untreated or inadequately treated liquid, gaseous or solid materials of such nature, quantity, obnoxiousness, toxicity or temperature that would be likely to run off, seep, percolate or wash into surface or subsurface waters so as to contaminate, pollute or harm such waters or cause nuisances such as objectionable shore deposits, floating or submerged debris, oil or scum, color, odor, taste or unsightliness or be harmful to human, animal, plant or aquatic life.
- (b) In addition, no activity shall discharge any liquid, gaseous or solid materials so as to exceed or contribute toward the exceeding of the minimum standards and those other standards and the application of those standards set forth in Wis. Admin. Code ch. NR 102 for all navigable waters.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

Subdivision II. Outdoor Trash and Garbage Storage

j. Sec. 78-1081. Subdivision provisions to be met.

The requirements of this subdivision shall be met for outdoor trash and garbage storage, except where residential (curbside) service is provided.

k. Sec. 78-1082. Purpose.

The purpose of this subdivision is to protect and improve community appearance, prevent the creation of nuisances and health hazards, and improve the quality of life in the city.

l. Sec. 78-1083. Required access plan.

Where a site plan is required for any project under division 8, article II of this chapter, any and all proposed outdoor trash and garbage storage on the subject property shall be depicted as to their location, configuration, and screening on the site plan.

m. Sec. 78-1084. Trash dumpster and garbage receptacle enclosure required.

All garbage cans, trash dumpsters, trash containers, and other storage devices situated on any property shall be closed containers with lids. Where such containers are located outside a building, they shall be completely concealed or screened from public view through opaque fencing and gates, supplemented by screen landscaping. Such fence enclosure shall be constructed of materials compatible with the materials on the front building wall of the main building. No portion of the lot shall be used for open or unenclosed storage of trash or waste of any kind.

n. Sec. 78-1085. Trash dumpster and garbage receptacle maintenance required.

Fencing and landscaping for storage areas shall be maintained in good condition and kept litter-free. All garbage cans, trash containers, and other garbage storage devices shall be emptied and the contents thereof properly disposed.

o. Sec. 78-1086. Trash dumpster and garbage receptacle location in off-street parking space or drive.

No trash dumpster or other trash or waste receptacle shall be permitted in any off-street parking space or drive.

p. Sec. 78-1087. Concrete slab required.

All outside trash dumpsters and garbage receptacles shall be placed upon a concrete slab that has a thickness of not less than five inches.

q. Sec. 78-1088. Adequate size to accommodate recycling materials.

All trash dumpster and garbage receptacle areas shall be of an adequate size to accommodate the storage of materials to be recycled.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

Subdivision III. Outdoor Lighting Standards

r. Sec. 78-1111. Purpose.

The purpose of this subdivision is to provide for adequate and safe lighting of private property, while limiting light spillover and glare onto adjacent properties and public streets. Such limitations are intended to prevent the creation of nuisances, promote traffic safety, conserve energy, preserve the area's dark sky, and support astronomy activities.

s. Sec. 78-1112. Applicability of subdivision provisions.

This subdivision shall be applied to the installation of all new and replacement private outdoor lighting fixtures. Outdoor lighting fixtures legally installed prior to the effective date of the ordinance from which this subdivision is derived shall not be required to comply with these outdoor lighting standards; however, any replacement of such lighting fixtures shall comply with all outdoor lighting standards as set forth in this subdivision.

t. Sec. 78-1113. Required lighting plan.

Where a development requires site plan review under division 8, article II of this chapter, all outdoor lighting fixtures shall be depicted and described on the required site plan or on a separate lighting plan. Depending on the complexity of the proposal or projected impact of lighting, the city may also require the following information:

(1) A catalog page, cut sheet, or photograph of the outdoor lighting fixtures, including the mounting method and light cutoff angles.

(2) A photometric plot plan, drawn to the same scale as the site plan, and indicating the location of all lighting fixtures proposed, mounting and/or installation height in feet, the average illumination level (in footcandles) within the parking lot, and illumination levels at regular intervals around the site and at property lines.

u. Sec. 78-1114. Maximum luminaire height.

The maximum permitted luminaire height shall be 35 feet in all nonresidential zoning districts, and 25 feet in all residential districts. The height of both the pole and base shall be considered in the measurement of luminaire height. In no instance shall an outdoor lighting fixture in a nonresidential zoning district be mounted or oriented such that the lighting element is visible from a property in a residential district.

v. Sec. 78-1115. Maximum illumination levels.

Average illumination levels within parking lots shall not exceed one footcandle within residential districts, and three footcandles within all other districts. The illumination level at any property line shall not exceed 0.5 footcandles above the ambient lighting conditions on a

cloudless night where the property adjoins land in a residential district, and two footcandles above the ambient lighting conditions on a cloudless night where the property adjoins land in any other zoning district. The plan commission may agree to allow greater lighting levels based on specific and reasonable written justification provided by the applicant, provided that the purpose of this subdivision is not compromised.

w. Sec. 78-1116. Use of shielded light fixtures.

All outdoor lighting fixtures shall be shielded as defined in section 78-1, except incandescent fixtures of 150 watts or less, other sources of 70 watts or less, lighting within public street rights-of-way, and lighting required for a specialized security or safety purpose. No searchlights shall be permitted.

x. Sec. 78-1117. Types of light source.

All outdoor lighting fixtures shall have high pressure sodium (HPS), low pressure sodium (LPS), incandescent, fluorescent or comparable light sources, except that in cases where true color rendition is required (including display lots and certain outdoor recreational uses), white lights such as metal halide shall be permitted. No new mercury vapor lighting fixtures shall be installed, and no replacement equipment or bulbs for pre-existing mercury vapor lighting fixtures shall be installed. No flickering or flashing lights shall be permitted, except low wattage seasonal lighting between November 1 and January 31 and lighting required for a specialized security or safety purpose.

y. Sec. 78-1118. Location.

No exterior light fixture shall be located within any required landscape bufferyard or within three feet of any property line except accent lights not exceeding 150 watts for incandescent fixtures or 70 watts for other fixtures.

z. Sec. 78-1119. Hours of illumination.

Within one hour after closing of the store, completion of the final work shift, or completion of specific activities associated with an institutional use, only building mounted security lighting and up to 25 percent of all other outdoor lighting fixtures may remain illuminated. Any use with four or fewer pole or ground-mounted exterior lights shall be exempt from this section.

aa. Sec. 78-1120. Exterior lighting for outdoor recreational uses.

Ball diamonds, playing fields, golf driving ranges, tennis courts, parks, and similar outdoor recreational uses may be exempted from one or more of the outdoor lighting standards of this subdivision if approved by the plan commission through site plan review.

bb. Sec. 78-1121. Street lighting.

Street lighting shall conform to the standards set forth by the state for state and federal highways, the county for county highways, and the city for city streets and highways.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

Subdivision IV. Vehicular Access Standards

cc. Sec. 78-1141. Purpose of subdivision.

The purpose of this subdivision is to promote the safety and general welfare of the public by alleviating or preventing congestion of public street rights-of-way through minimum public street access requirements applicable to private and public land uses.

dd. Sec. 78-1142. Permit required.

Each access point onto a public street or right-of-way shall have a permit issued by the director of public works per Wis. Stats. § 86.07(2).

ee. Sec. 78-1143. Required access plan.

Where a site plan is required for any project under division 8, article II of this chapter, any and all proposed access drives on the subject property shall be depicted as to their location and configuration on the site plan.

ff. Sec. 78-1144. Number of access points.

(a) Each lot shall have not more than two vehicular access points on any street frontage adjacent to any lot.

(b) In no instance shall any lot be permitted more than one vehicular access point on any one street if its frontage on such street is less than 100 linear feet (as measured along the right-of-way line).

(c) On arterial streets and in certain areas experiencing, or expected to experience, congestion and/or safety problems, access to a lot may be required to be located via an access point located on an adjacent property or another street frontage.

(d) Vehicular access may be further restricted by the state on state and federal highways, and by the county on county highways.

gg. Sec. 78-1145. Location of access points.

(a) Residential uses shall not have access points onto a nonresidential collector or arterial street unless such street has the only available frontage.

(b) Nonresidential uses shall not have access points onto a residential street unless such street has the only available frontage.

(c) At its intersection with the street right-of-way line on an arterial or nonresidential collector street, no access point shall be located closer than 100 feet from the intersection of any two street rights-of-way unless such access point is the only available location on the subject property. In all cases, access points shall be located as far from an intersection as the lot size permits.

(d) The minimum distance between vehicular access points serving the same property shall be 25 feet (edge to edge), as measured at the property line. A distance in excess of such 25 feet may be required if, in the opinion of the director of public works, present or projected traffic factors warrant a greater distance.

(e) The distance from an access drive to the property line of an adjacent property shall not be less than five feet, as measured along the right-of-way line, except where shared driveways are expressly allowed.

hh. Sec. 78-1146. Angle of intersection with public right-of-way.

All access drives shall intersect with the public street right-of-way at an angle of not less than 75 degrees, and shall intersect at an angle of 90 degrees wherever possible.

ii. Sec. 78-1147. Width of driveways.

All access drives shall have a minimum width of ten feet for single-family dwellings, 12 feet for two-family dwellings, and 20 feet for all other land uses. All curb openings for access drives shall have a maximum width of 24 feet per unit for single-family and two-family dwellings, and for all commercial uses the driveway width shall be determined at site plan review, as measured at the right-of-way line. Access drives may be flared between the right-of-way line and the roadway up to a maximum of five additional feet.

jj. Sec. 78-1148. Traffic control.

The traffic generated by any use shall be channelized and controlled in a manner which avoids congestion on public streets and other safety hazards. Traffic into and out of all off-street parking, loading and traffic circulation areas serving six or more parking spaces shall be forward moving, with no backing into streets or pedestrian ways. Except in the B-3 district, there shall be no loading or unloading within the public street right-of-way. Traffic control devices shall be required as determined by the director of public works.

kk. Sec. 78-1149. Paving of access.

All access approach areas located within a street right-of-way shall be paved to the satisfaction of the director of public works with a hard, all-weather surface, and shall be maintained so as to prevent the transport of gravel, dirt, or other eroded material from the subject property into the public street.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

Additional Conditions of Approval (if applicable):

Findings: _____

Final Conclusions/Summary (if applicable):

Findings: _____

.....

Plan Commission Recommendation: Approve: _____ Deny: _____

Date: _____

Common Council Action: Approve: _____ Deny: _____

Date: _____



B
BLAKEMORE
ARCHITECTS

New Building for Catch the Wave Swim Club
Milton, Wisconsin





B

BLAKEMORE
ARCHITECTS

New Building for Catch the Wave Swim Club
Milton, Wisconsin



New Building
 for



East High Street
 Milton, Wisconsin 53563

THE CONTRACTOR SHALL DETERMINE EXACT DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL COORDINATE ALL DRAWINGS WITH ACTUAL FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. THIS DRAWING IS THE PROPERTY OF BLAKEMORE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN PERMISSION OF THE ARCHITECT.

NO.	DATE	DESCRIPTION
1.	08-28-2020	Initial Layout
2.	08-04-2020	Owner Review
3.	09-10-2020	Owner Review
4.	09-16-2020	Owner Review
5.	10-1-2020	Owner Review Exterior
6.	10-6-2020	City of Milton Submittal

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BA Project No. 20-24

Scale

3/16" = 1'-0"

Sheet Title

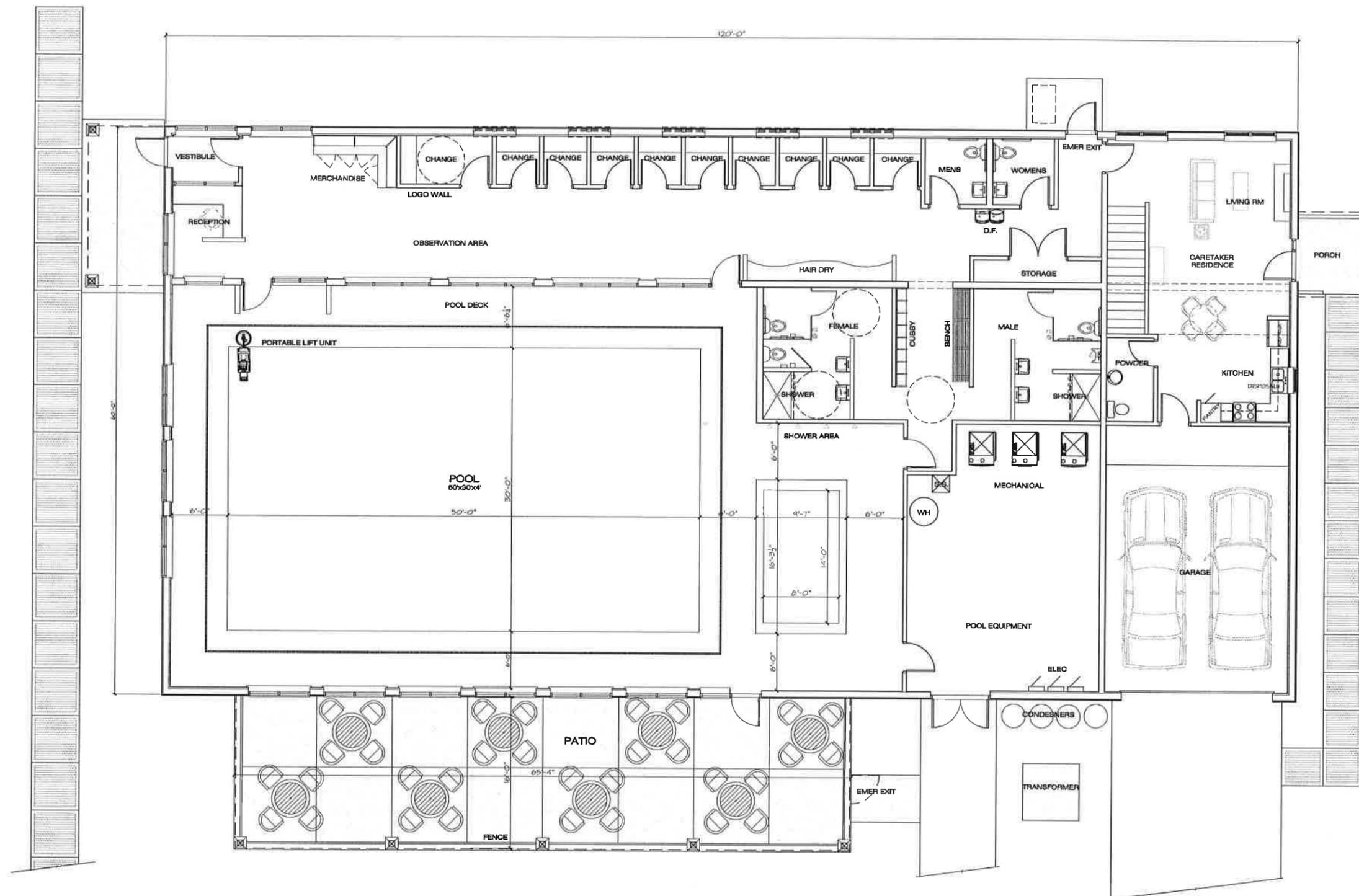
FLOOR PLAN

Ref. North Sheet No.



A101

PROFESSIONAL DESIGN FIRM REGISTRATION #
 184-003342



1 Floor Plan
 3/16" = 1'-0"

\projects\2020\Projects\20-24\20-24-01\20-24-01-01\20-24-01-01-01.dwg 08/28/2020 10:00 AM



BLAKEMORE ARCHITECTS

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New Building
for



East High Street
Milton, Wisconsin 53563

THE CONTRACTOR SHALL DETERMINE EXACT DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL COORDINATE ALL DRAWINGS WITH ACTUAL FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. THIS DRAWING IS THE PROPERTY OF BLAKEMORE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN PERMISSION OF THE ARCHITECT.

NO.	DATE	DESCRIPTION
1.	08-28-2020	Initial Layout
2.	09-04-2020	Owner Review
3.	09-10-2020	Owner Review
4.	09-15-2020	Owner Review
5.	10-1-2020	Owner Review Exterior
6.	10-6-2020	City of Milton Submittal

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BA Project No. 20-24

Scale

3/16" = 1'-0"

Sheet Title

PARTIAL FLOOR PLAN

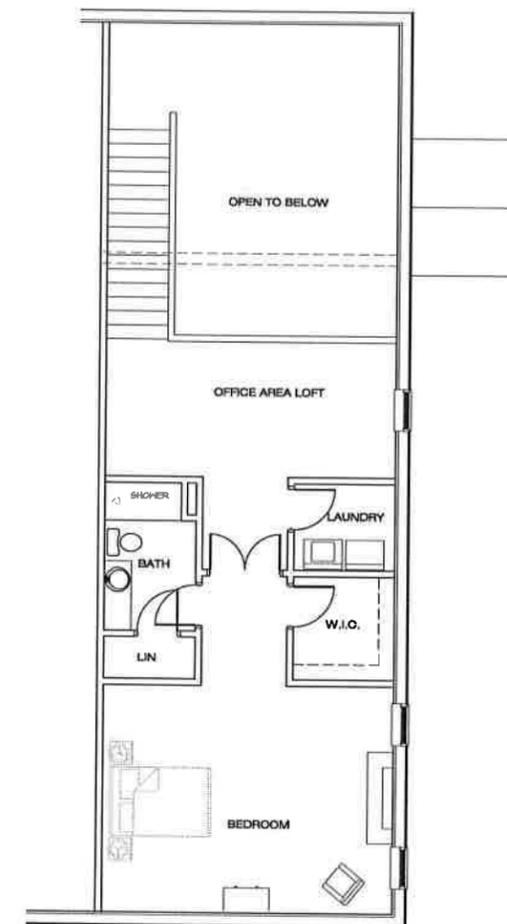
Ref. North

Sheet No.



A102

PROFESSIONAL DESIGN FIRM REGISTRATION #
184-003342



1 Loft Floor Plan
3/16" = 1'-0"

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New Building for



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6)	10-6-2020	City of Milton Submittal

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Scale

1/8" = 1'-0"

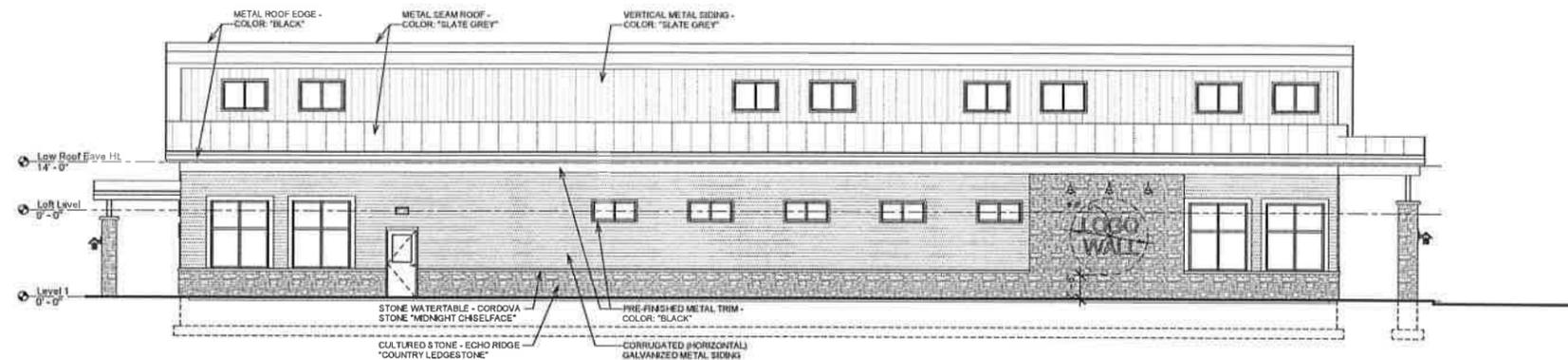
Sheet Title

PROPOSED ELEVATIONS

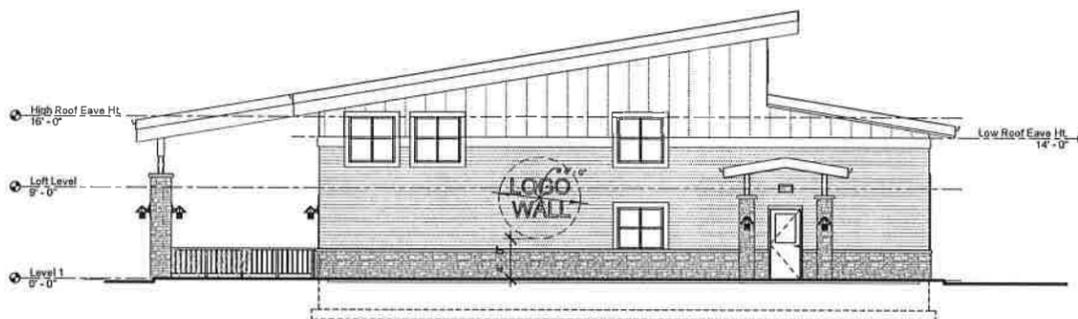
Ref. North Sheet No.

A201

PROFESSIONAL DESIGN FIRM REGISTRATION #
 184-003342



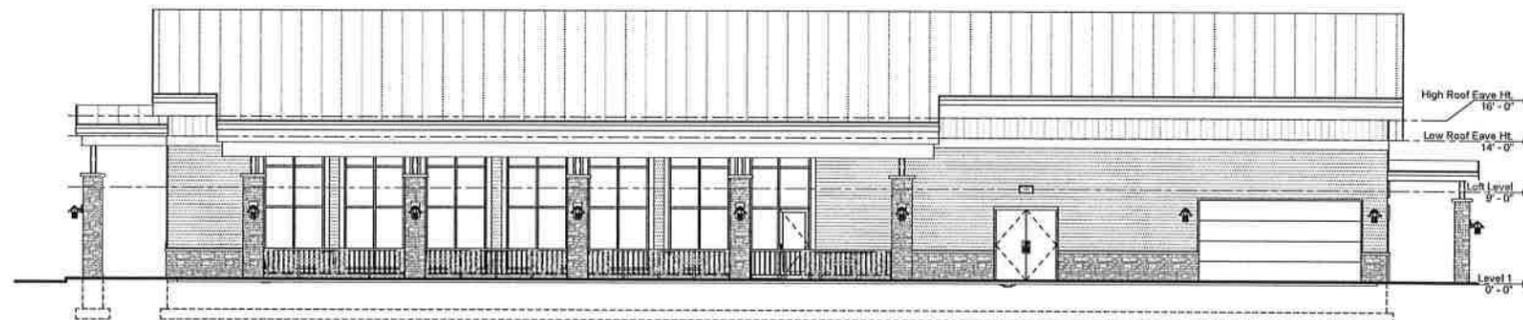
1 North Elevation
 1/8" = 1'-0"



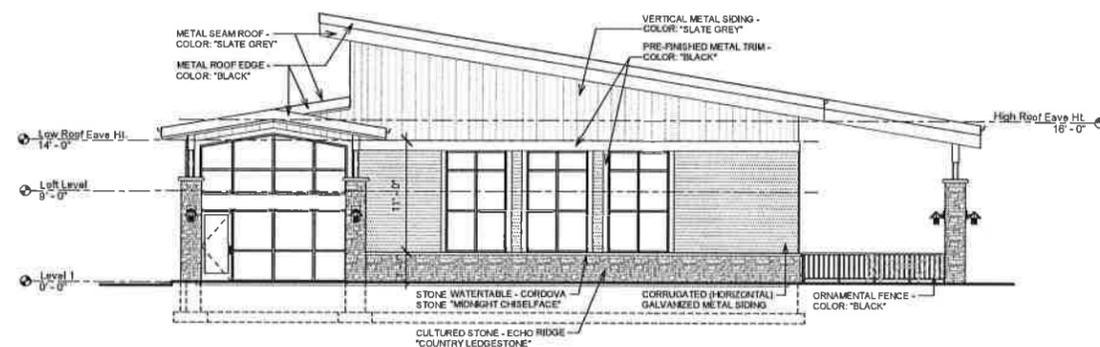
2 East Elevation
 1/8" = 1'-0"



5 South-West View



3 South Elevation
 1/8" = 1'-0"



4 West Elevation
 1/8" = 1'-0"



6 North-West View



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New Building
for



East High Street
Milton, Wisconsin 53563

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BA Project No. 20-24

Scale

Sheet Title

EXTERIOR FINISH MATERIALS

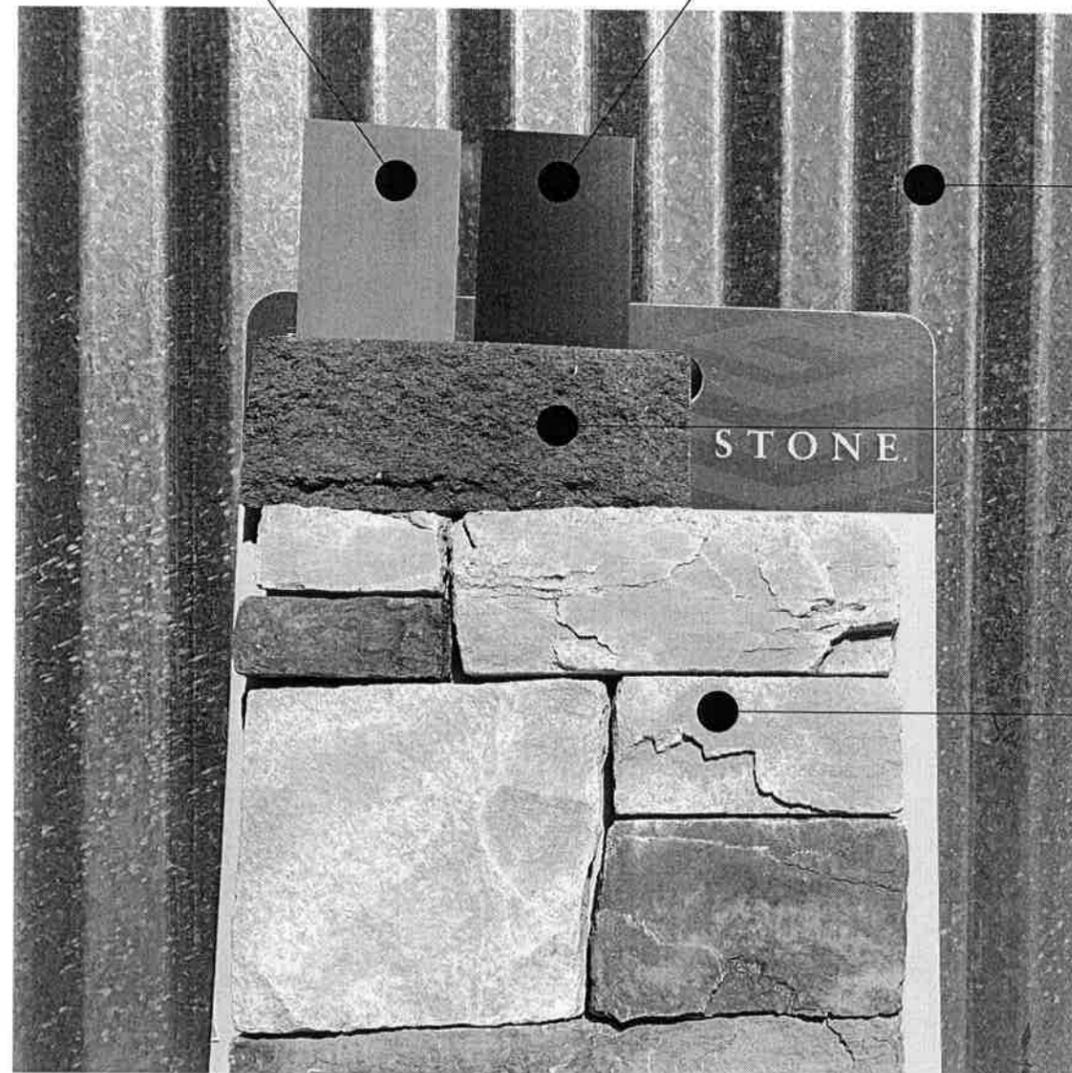
Ref. North Sheet No.

A701

PROFESSIONAL DESIGN FIRM REGISTRATION #
184-003342

PRE-FINISHED METAL ROOF AND WALL PANELS
COLOR: SLATE GRAY

PRE-FINISHED METAL ACCENTS
COLOR: BLACK



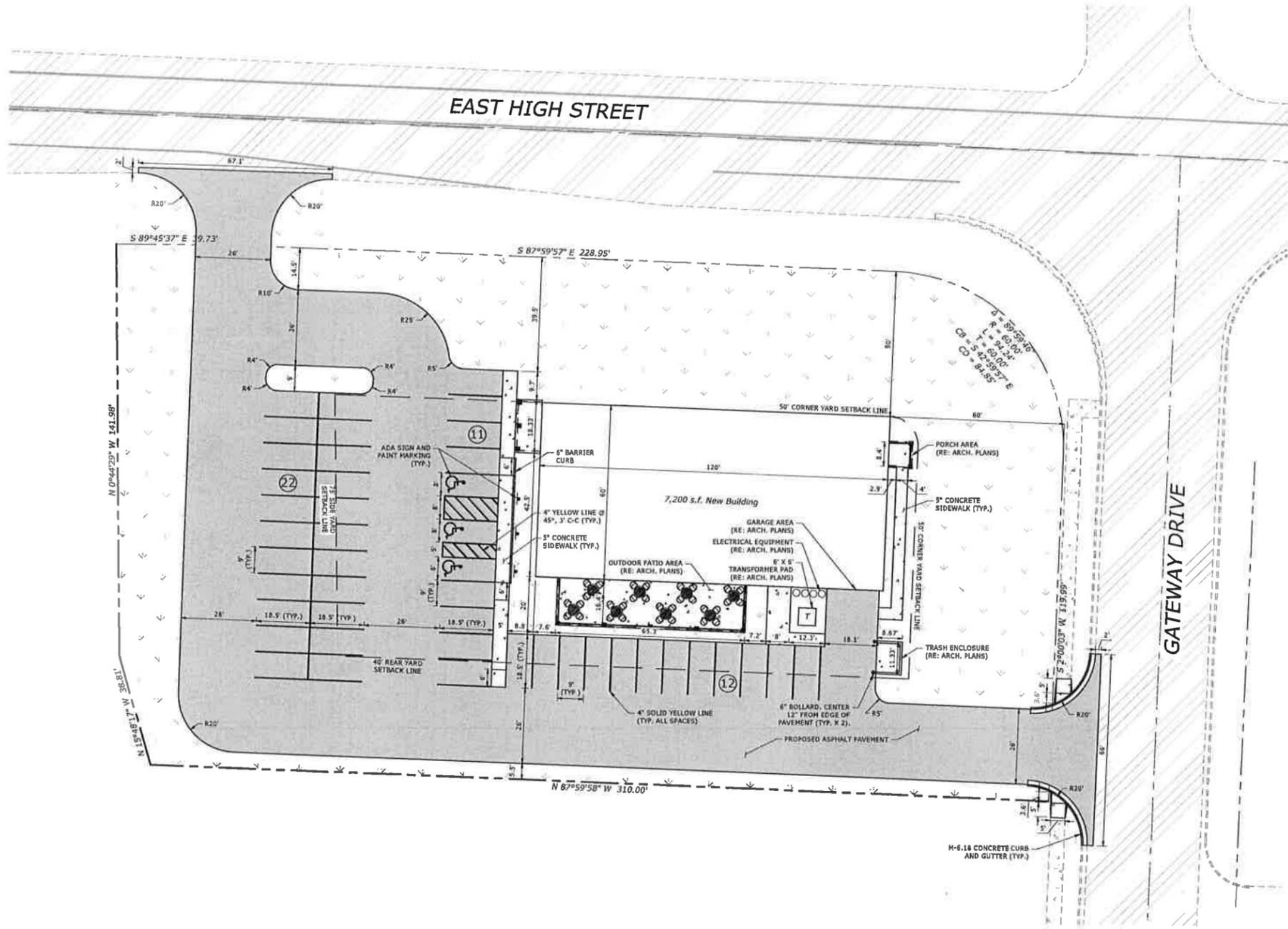
HORIZONTAL CORRUGATED METAL WALL PANELS
COLOR: GALVANIZED

WATER TABLE STONE ACCENT BAND
COLOR: MIDNIGHT

CULTURED STONE
ECHO RIDGE COUNTRY LEDGESTONE

09/28/2020 10:00 AM Project: 20-24 - East High Street - Milton, WI - 20-24 - 10-8-2020 - City of Milton Submittal

G:\Projects\20128 Catch the Wave Milton VTDwg\Engineering Plans\C101 LAYOUT PLAN.dwg Oct 06, 2020 - 2:08pm rshauls



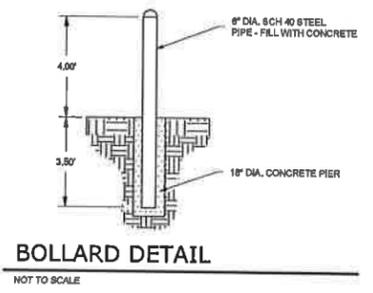
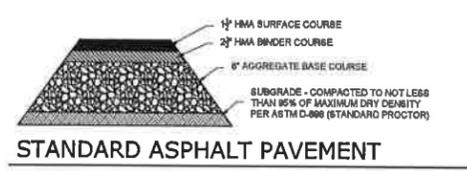
LEGEND

- PROPERTY LINE
- ROAD CENTERLINE
- EXISTING RIGHT-OF-WAY
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BUILDING OVERHANG (RE: ARCH. PLANS)
- PROPOSED ADA PARKING SPACE
- NUMBER OF PROPOSED PARKING SPACES IN A ROW
- PROPOSED PARKING STALLS
- EXISTING CONCRETE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- EXISTING ASPHALT PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED TURF AREA
- PROPOSED OUTDOOR TABLES (RE: ARCH. PLANS)
- PROPOSED COLUMNS (RE: ARCH. PLANS)
- PROPOSED TRANSFORMER PAD (RE: ARCH. PLANS)

SITE DATA

SITE ZONING	M-2 GENERAL INDUSTRIAL DISTRICT	
LOT AREA	REQUIREMENT	PROVIDED
MINIMUM LOT AREA	2.50 AC (108,900 SF)	1.32 AC (57,408 SQ FT)
MINIMUM LOT FRONTAGE	100'	289.7'
MINIMUM GREEN AREA	20%	39%
SETBACKS		
CORNER (NORTH, EAST)	50'	50'
SIDE (WEST)	75'	143'
REAR (SOUTH)	40'	70'
PARKING		
TYPICAL PARKING DIMENSIONS	9' X 18.5'	9' X 18.5'
ACCESSIBLE PARKING	3 SPACES	3 SPACES
TOTAL PARKING STALLS	41 (1 SPACE / 4 OCCUPANTS + 1 SPACE / EMPLOYEE)	45 NOT INCLUDING 4 IN OR IN FRONT OF GARAGE
MINIMUM AISLE WIDTH	26'	26'

- ### LAYOUT NOTES
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE PERVERTS, FLOOR ELEVATIONS, CURBS OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
 - SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
 - COORDINATE WORK WITHIN THE EAST HIGH STREET AND GATEWAY DRIVE ROW WITH THE CITY OF MILTON, WI. TRAFFIC CONTROL SHALL CONFORM TO WSDOT STANDARDS FOR WORK WITHIN THE R.O.W.
 - ALL RADII ARE DIMENSIONED TO THE EDGE OF THE PAVEMENT.
 - SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURBS AND SIDEWALKS MEET EXISTING PAVEMENT OR SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
 - FOR REQUIRED PAVEMENT REMOVALS, A FULL DEPTH SAW CUT AT THE REMOVAL LIMITS OF AT LEAST 2 FEET IN WIDTH IS REQUIRED.
 - FOR ALL PAVEMENT PATCHING WITHIN THE RIGHT OF WAY THE BACKFILL MATERIAL USED SHALL BE CONTROLLED LOW STRENGTH MATERIAL UP TO THE BOTTOM OF THE PAVEMENT. THE THICKNESS OF THE HMA PAVEMENT REPLACEMENT SHALL BE A MINIMUM OF THE SAME THICKNESS AS THE EXISTING PAVEMENT STRUCTURE. THE MIXES USED SHALL BE HMA BINDER COURSE AND HMA SURFACE COURSE TO THE STANDARDS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, COORDINATION AND OBTAINING APPROVAL OF A TRAFFIC MANAGEMENT PLAN IF CLOSURES OF LANES EXCEED THE CRITERIA ESTABLISHED IN THE BDE MANUAL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE CITY OF MILTON, WI AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK IN THE RIGHT OF WAY.



BA

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New Building
for

Catch the Wave
SWIM CLUB

East High Street
Milton, Wisconsin 53563

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BA Project No. 20-24

Scale 1:20
Sheet Title

ARC DESIGN
RESOURCES INC.

5201 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-3300
FAX: (815) 484-4303
www.arcdesign.com

ARC PROJECT # 20128

SITE LAYOUT PLAN
Sheet No. **C101**

PROFESSIONAL DESIGN FIRM REGISTRATION # 184-003342

New Building
 for



East High Street
 Milton, Wisconsin 53563

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BA Project No. 20-24

Scale 1:20
 Sheet Title

LANDSCAPING PLAN
 Sheet No. **C102**
 PROFESSIONAL DESIGN FIRM REGISTRATION # 184-003342

LEGEND

- MIXED PERENNIALS / ORNAMENTAL GRASSES
- EVERGREEN / DECIDUOUS SHRUBS
- LARGE DECIDUOUS SHADE TREE
- EVERGREEN TREE / ORNAMENTAL TREE
- SEED AREA FOR TURF WITHIN P.L. UNLESS OTHERWISE DIRECTED BY OWNER - SEE ENGINEERING PLANS

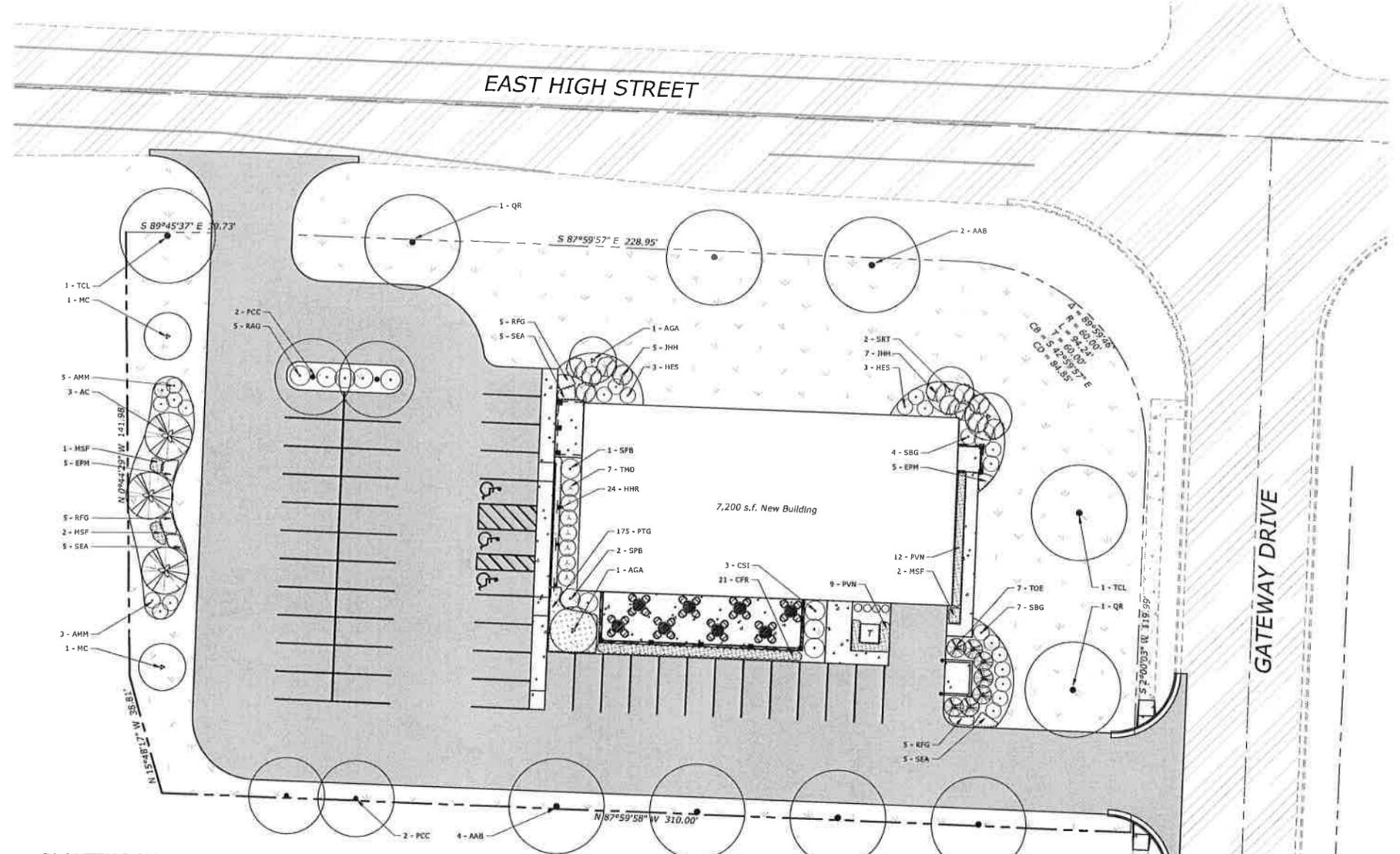
PLANT LIST

KEY	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
AAB	6	Acer x 'Autumn Brilliance' AUTUMN BRILLIANCE MAPLE	3"	
AC	3	Abies concolor WHITE FIR	7'	EVERGREEN
AGA	2	Amelanchier x grand. AUTUMN BRILLIANCE SERVICEBERRY	7'	MULTI-STEMMED
MC	2	Malus x 'Cardinal' CARDINAL CRABAPPLE	7'	MULTI-STEMMED
PCC	4	Pyrus calleryana x 'Chanticleer' CHANTICLEER ORNAMENTAL PEAR	3"	MATCHED, NON-FRUIT
QR	2	Quercus rubrum RED OAK	3"	
SRT	2	Syringa reticulata COMMON TREE LILAC	7'	MULTI-STEMMED
TCL	2	Tilia cordata x 'Little Leaf' LITTLE LEAF LINDEN	3"	
AMH	8	Aronia melanocarpa 'Horton' IRIQWIS BEAUTY CHOKEBERRY	30"	
CSI	3	Cornus sericea 'Isant' REDOSIER RED TWIG DOGWOOD	30"	
HES	6	Hydrangea microphylla 'Endless Summer' ENDLESS SUMMER HYDRANGEA	5 GAL	
JHH	12	Juniperus horizontalis 'Hughes' HUGHES JUNIPER	5 GAL	EVERGREEN
RAG	5	Rhus aromatica 'Gro-Lu' GRO-LOW SUMAC	18"/5 GAL	
SBG	11	Spiraea bumalda 'Goldflame' GOLDFLAME SPIREA	18"/5 GAL	
SPB	3	Syringa patula x 'Blauerwang' REBLOOMING DWARF LILAC	24"/5 GAL	
TMD	7	Taxus media x 'Densiformis' DENSE JAPANESE YEW	18"/5 GAL	EVERGREEN
TOE	7	Thuja occidentalis 'Emerald' EMERALD UPRIGHT ARBORVITAE	4'	EVERGREEN
CFR	21	Calamagrostis scutifolia 'Karl Forster' FEATHER REED GRASS	3 GAL	3'-0" O.C. SPACING
EPH	10	Echinacea purpurea 'Magnus' PURPLE CONEFLOWER	3 GAL	2'-0" O.C. SPACING
HHR	24	Hemmerscallis 'Happy Returns' HAPPY RETURNS DAYLILY	1 GAL	2'-0" O.C. SPACING
HSF	5	Miscanthus sinensis 'Fairygrass' MAIDEN FAIRY GRASS	1 GAL	3'-0" O.C. SPACING
PVG	21	Panicum virgatum 'Northwind' NORTHWIND SWITCH GRASS	1 GAL	2'-6" O.C. SPACING
PTG	175	Pachysandra terminalis 'Green Carpet' JAPANESE SPURGE - PACHYSANDRA	FLAT	10" O.C. SPACING
RFG	15	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	1 GAL	2'-0" O.C. SPACING
SEA	15	Sedum spectabile 'Autumn Joy' AUTUMN JOY SEDUM	1 GAL	2'-0" O.C. SPACING

ZONING DATA

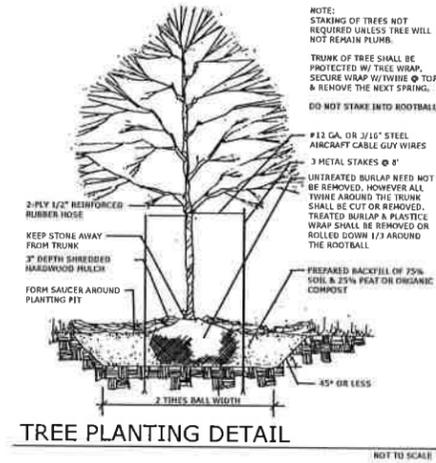
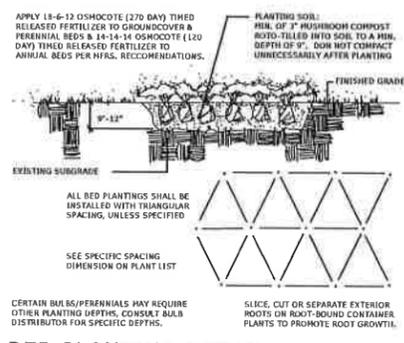
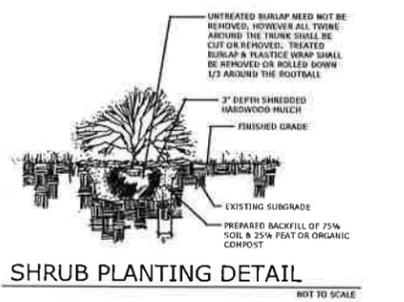
CATEGORY	AREA/QUANTITY	REQUIREMENT	PROVISION
STREET FRONTAGE TREES (MILTON CODE OF ORDINANCES SEC. 78-1312)	E. HIGH ST (NORTH PL): 299' GATEWAY DR. (EAST PL): 145'	E. HIGH ST. (NORTH): 3 TREES GATEWAY DR. (EAST): 1 TREE 1 LARGE DECIDUOUS TREE FOR EACH 100' OF PROPERTY LINE ALONG A PUBLIC STREET ROW	E. HIGH ST. (NORTH): 3 TREES GATEWAY DR. (EAST): 1 TREE
PAVED AREAS (MILTON CODE OF ORDINANCES SEC. 78-1313)	PAVED AREA = 26,873 SF	11 TREES + 330 POINTS REQUIRED ONE LARGE DECIDUOUS TREE & 30 POINTS OF ADD'L LANDSCAPING FOR EACH 2,250 SF PAVED AREA	11 TREES + 330 POINTS
BUILDING FOUNDATIONS (MILTON CODE OF ORDINANCES SEC. 78-1314)	360 LF OF EXTERIOR BUILDING WALL	450 POINTS REQUIRED 150 POINTS PER EACH 100 LINEAL FOOT OF EXTERIOR BUILDING WALL	560 POINTS
BUFFER YARDS (MILTON CODE OF ORDINANCES SEC. 78-1315)	WEST PL: 179' SOUTH PL: 315' N/A (SAME ZONING)	ALL SEASON SCREENING, 60% OPACITY AT MATURITY, MIN 3' HEIGHT, BEARING OR FENCES AREA ALLOWABLE W/IN 25' OF PL.	WEST PL: 107' (60%) + 540 POINTS SOUTH PL: N/A

LANDSCAPING POINTS CREDITS (MILTON CODE OF ORDINANCES SEC. 78-1371):
 1. LARGE DECIDUOUS TREE (MATURE HEIGHT ≥ 25' FEET): 150 POINTS
 2. SMALL DECIDUOUS TREE (MATURE HEIGHT < 25 FEET): 60 POINTS
 3. EVERGREEN TREE: 80 POINTS
 4. SHRUB (DECIDUOUS OR EVERGREEN): 20 POINTS
 5. ANNUAL/PERENNIAL BED: 20 POINTS PER 20 SF BED



PLANTING NOTES

- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction in his phase of work. Electric, gas, telephone, and cable television can be located by calling the Diggers Hotline at 811. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site to correct surface irregularities in preparation for sod/seed. Note: lift, disc, drag, harrow or hand rake sub grade in all lawn areas and remove construction debris, foreign matter or stumps larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas should be brought to grade with "topsoil" to a depth of 6 inches in areas to be seeded or sodded, and 12 inches for all lawns (curbed) landscape islands. All lawn areas are to be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (See seed/sod notes for acceptance details).
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- Any plant materials with damaged or crooked/distorted leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-leader or clump.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see below).
- All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices.
- All planting beds and tree saucers shall be mulched continuous with 3" depth shredded hardwood mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees shall be mulched to outer-most branches at the time of installation.
- Planting edge delineation at all planting bed lines and tree saucers shall require a minimum 4" depth, "v" shaped cultivated, spaded edge with a vertical face abutting all lawn areas and sloped to inside of plant bed continuous between lawn and mulched areas as indicated on plan.
- Contractor to seed all disturbed lawn areas. Seeded lawn to be a combination of bluegrass, perennial ryegrass and red fescue with the suggested following analysis by weight: 30% rugby Kentucky bluegrass, 20% park Kentucky bluegrass, 20% creeping red fescue, 20% scabris hard fescue, and 10% perennial ryegrass. Seed to be applied at a rate of 4 lbs. per 1,000 s.f.. All seeded lawn areas shall be covered with straw mulch or erosion control matting, consisting of hand or machine application at a rate of 2 ton per acre. Mulch shall be compact enough to reduce erosion of seed and topsoil but loose enough to allow air to circulate. Install to the standards of the Wisconsin Department of Transportation.
- All seeded turf areas shall be fertilized at installation with 6-20-20 analysis, at a rate of 6 lbs. per 1,000 s.f.. A second application of 21-7-14 to be applied at rate of 6 lbs. per 1,000 s.f., after the first cutting. Acceptance and guarantee notes shall apply to all seeded areas.
- Acceptance of grading and seed shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-seeding (wash-offs) and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of seeded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.



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 6116 Mufford Village Drive
 ROCKFORD, ILLINOIS 61107
 Professional Design Firm No. 184-003483
 815-484-4708 Phone 815-484-4710 Fax
 e-mail legacy@legacydesigns.net
 web site www.legacydesigns.net

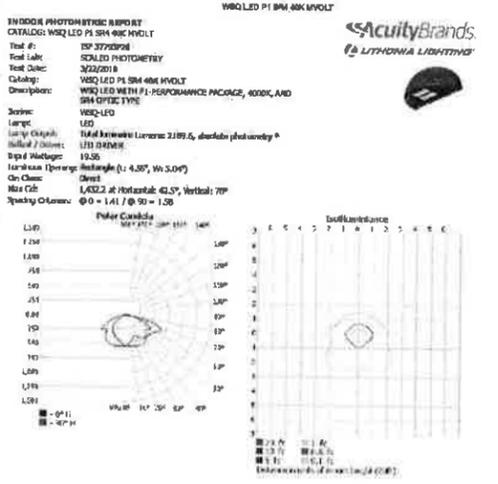
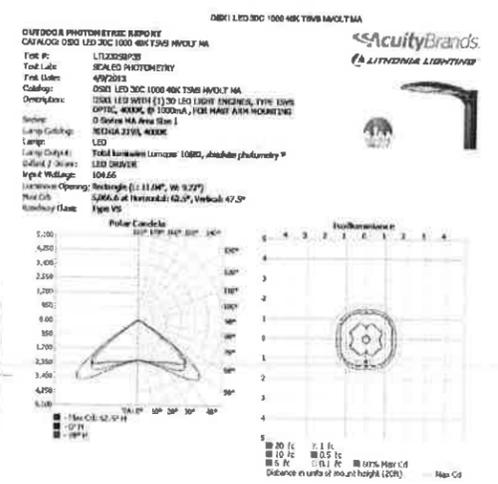
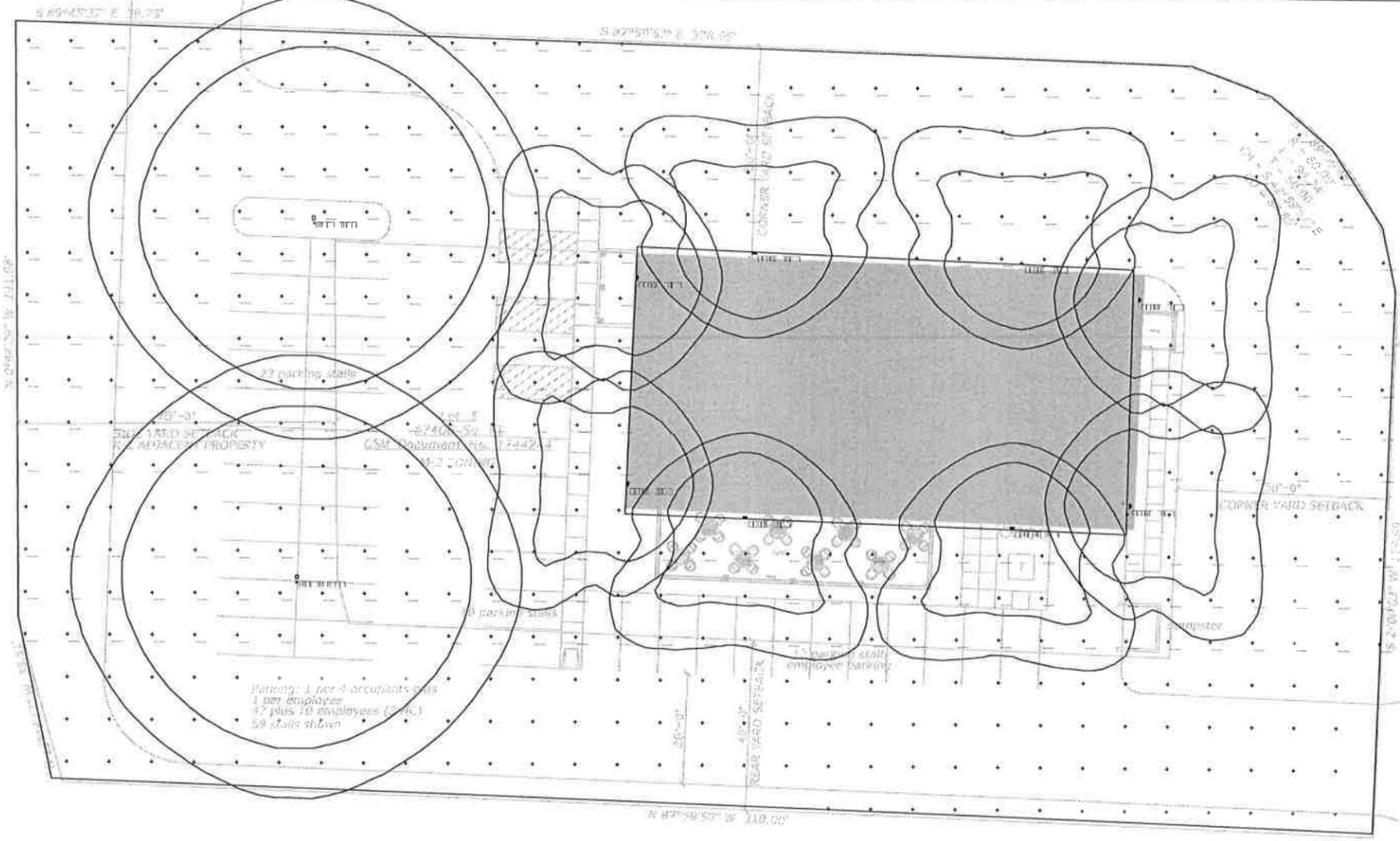
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 Email: Brian@Blakemore-Architects.com
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LUMINAIRE SCHEDULE	
Symbol	Description
1	1x1 LED 1000 4000K 150W
2	1x1 LED 1000 4000K 150W
3	1x1 LED 1000 4000K 150W
4	1x1 LED 1000 4000K 150W
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PHOTOMETRIC SITE PLAN
 1/16" = 1'-0"

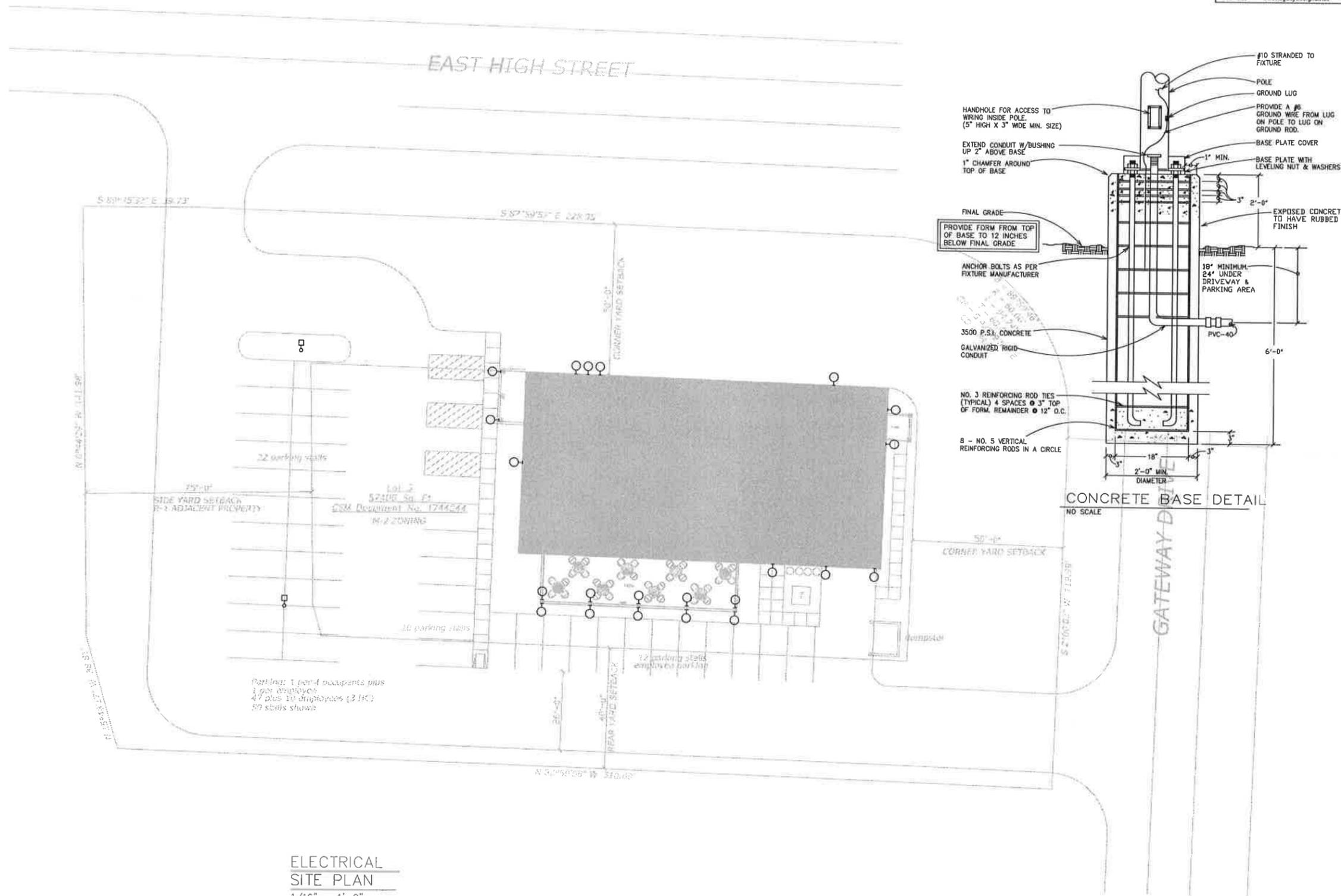
New Building
 for

 East High Street
 Milton, Wisconsin 53563

THE CONTRACTOR SHALL DETERMINE EXACT DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL COORDINATE ALL DRAWINGS WITH ACTUAL FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. THIS DRAWING IS THE PROPERTY OF BLAKEMORE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN PERMISSION OF THE ARCHITECT.

NO.	DATE	DESCRIPTION
1.	08-28-2020	Initial Layout
2.	09-04-2020	Owner Review
3.	09-10-2020	Owner Review
4.	09-18-2020	Owner Review
5.	10-1-2020	Owner Review Exterior
6.	10-6-2020	City of Milton Submittal

BA Project No. 20-24
 Scale 1/16" = 1'-0"
 Sheet Title PHOTOMETRIC SITE PLAN
 Ref. North Sheet No. SE101
 PROFESSIONAL DESIGN FIRM REGISTRATION # 184-003342



ELECTRICAL
SITE PLAN
 1/16" = 1'-0"

New Building
 for



East High Street
 Milton, Wisconsin 53563

THE CONTRACTOR SHALL DETERMINE EXACT DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL COORDINATE ALL DRAWINGS WITH ACTUAL FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. THIS DRAWING IS THE PROPERTY OF BLAKEMORE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN PERMISSION OF THE ARCHITECT.

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6.	10-9-2020	City of Milton Submittal

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BA Project No. 20-24

Scale
 1/16" = 1'-0"

Sheet Title
ELECTRICAL
SITE PLAN
 Ref. North Sheet No.

SE102
 PROFESSIONAL DESIGN FIRM REGISTRATION #
 184-00342



City of Milton Application and Record

Application Date: 7.21.20

Date to be Reviewed by Plan Commission: 10/20

Applicant Name/Agent: _____

Date to be Reviewed by Common Council: 10/20

Owner of Property: _____

Date to be Reviewed by Zoning Board of Appeals: _____

Business Name: Catch the Wave

Address: 1917 Blackhawk Blvd

City/State/Zip: South Beloit IL 61080

Telephone: 815-713-4481

Email: debbie@catchthewaveswim.com

Fee Required:	Date Paid
Conditional Use Permit \$250.00	<u>7/29/20</u>
Rezoning \$250.00	
Variance \$250.00	

Reason for Request/Appeal or Reason Permit was Refused: TO CONSTRUCT A
COMMERCIAL REC. FACILITY W/ CARETAKER
RESIDENCE ATTACHED.
↳ CUP

Property Location for Project

Address: PARCEL V-23-1466.4 C

Legal Description: _____

Description of Premise (Including Existing and Proposed Buildings): VACANT

Current Zoning: (circle one) A1 A2 B1 B2 B3 C1 C2 M1 (M2) MR R1 R2 R3 R4 PUD SP

Proposed Zoning: (circle one) A1 A2 B1 B2 B3 C1 C2 M1 (M2) MR R1 R2 R3 R4 PUD SP

Present Use: VACANT

Proposed Use: COMMERCIAL REC + CARETAKER RESIDENCE

Present Occupancy: N/A Proposed Occupancy: CARETAKER

Name of Proposed Subdivision: _____

Surveyor's Name: _____ Address: _____

Property Lot Size: 1.16 AC (square feet or acres)

Lot Size of Preliminary Land Division: 1.16 Lot Size of Final Land Division: 1.16
Building Setback Front: _____ Side: _____ Rear: _____
Building Setback Corner: _____ Side: _____ Rear: _____
Number of Stories: 1 or 2 Number of Rooms: _____ Height: _____
Architect: _____ General Contractor: GARY OLBERG
Off Street Parking: 36 Number of Stalls: 36
Estimated Cost of Work: _____

The undersigned hereby agrees that the foregoing information is true and accurate, and that if this permit or request is granted, all work will be done in accordance with this application and all the Ordinances of the City of Milton.

Applicant Signature: [Signature] [Signature]
Print Name: Troy Stoffregen Debra Stoffregen

Recommendations by Director of Public Works: _____

Filed this 21 day of September, 2020

[Signature]
Director of Public Works / Building Inspector, Howard Robinson

[Signature]
City Clerk, Leanne Schroeder

Publication Date: 10/1, 10/8



Department of Public Works

To: Mayor Welch, Milton Plan Commission
From: Howard Robinson, Director of Public Works
Date: October 20, 2020
Subject: Discussion and Possible Action Regarding a Set Back Exception for Jorge Medrano at 17 Front Street.

Summary

Jorge Medrano, the property owner of 17 Front Street has requested a setback exception for his front yard to allow for an addition of living space to the front of his home. A copy of the setback exception ordinance 78-316(4) is included. He is asking that the front yard setback be approved for 19' instead of 25'. The two closest buildings on Front Street have setbacks of 12' and 13'. His request would still put his setback at a greater distance than the two neighboring structures. There are more than five existing buildings within 500' that are less than the 25' required setback. Per ordinance, a setback of 12.5' could be allowed but he is requesting it to be 19'. This request meets ordinance requirements.

Recommendation

City staff recommends approval of the setback exception from the required 25' to the requested 19'.

17 Front Street Photos



Sec. 78-316. - General district regulations.

The following regulations set forth requirements that usually do not apply uniformly throughout the city, but rather cover things that are applicable to one or more districts:

- (1) *Erection of more than one principal structure on a lot.* In any district no more than one principal structure housing a permitted or conditional use may be erected on a single lot except in the PUD, M-1, M-2, A-1, A-2 and B-2 districts where the requirements of those districts shall be met for each structure as though it were on an individual lot.
- (2) *Exceptions to height regulations.* The height limitations contained in the requirements for permitted and conditional uses do not apply to spires, belfries, cupolas, antennas, water tanks, fire towers, windmills, ventilators, chimneys, or other appurtenances usually required to be placed above the roof level and not intended for human occupancy.
- (3) *Structures to have access.* Every residential building hereafter erected or moved shall be on a lot adjacent to a public street and all structures shall be so located on lots as to provide safe and convenient access for servicing, fire protection, and required off-street parking.
- (4) *Setback exceptions.* A setback less than the setback required by this chapter may be permitted where there are at least five existing main buildings existing on October 1, 1982, within 500 feet of the proposed site that are built to less than the required setback. In such case, the setback shall be the average of the nearest main building on each side of the proposed site or if there is no building on one side, the average of the setback for the main building on one side and the required setback. Such setback shall be granted by the city plan commission and shall not require a variance.
- (5) *Parking lots.* No parking lot shall be constructed unless and until a building permit is issued. Applications for a permit shall be submitted with two copies of plans for the development and construction of the parking lot. Adequate ingress to the parking lot shall be provided and all parking spaces shall be provide adequate access by means of maneuvering lanes. Provisions of adequate ingress and egress shall be approved by the city engineer or director of public works.
- (6) *Loading and unloading space.* In commercial or industrial districts, sufficient space for loading or unloading of vehicles shall be provided off the highway in connection with any commercial or industrial use so that the highway shall at all times be free and unobstructed to the passage of traffic.
- (7) *Vacation of streets and alleys.* Vacation of public streets, alleys and rights-of-way shall cause the land vacated to be automatically placed in the same district as the abutting side to which the vacated land reverts.
- (8) *Utility lines.* Utility lines which will serve individual lots to include electric lines under 12,000 volts, cable TV, telephone, natural gas, etc. shall be installed underground within the utility easements shown on the map required by the building permit.
- (9) *Overhead utility lines.* No overhead power, telephone or telegraph lines shall be erected within one-half mile of any boundary of the site of any airport, landing field, or landing and takeoff strip.
- (10) *Fences.* In the residential districts, fences shall be permitted, provided that no fence shall exceed six feet in height. Fences shall be constructed only of material manufactured for use as fencing unless otherwise approved by a city building official.
- (11) *Soil designations.* Soil designations used in this chapter are from the "Soil Survey for Rock County, Wisconsin," by the U.S. Department of Agriculture, Soil Conservation Service.
- (12) In B-1 and B-3 district areas, the plan commission may issue a conditional use permit for a second principal structure, provided that both principal structures meet all setback and lot size requirements.

- (13) Polystructures shall not be allowed as a permitted or conditional use in any district except in the M-R, M-1, and M-2 districts where such structures may be allowed as a conditional use.
- (14) *Standards for single-family dwellings.* Single-family dwellings, except those in designated mobile home parks, must satisfy all of the following criteria:
- a. Installed on an enclosed permanent foundation;
 - b. Minimum floor area excluding the garage, decks, porches, and basement: 800 square feet of heated living space;
 - c. Minimum width of short side of dwelling: 24 feet;
 - d. Minimum core area of heated living space: 24 feet by 24 feet;
 - e. Pitched roof required with a minimum slope of three inches in height for each foot of width;
 - f. Permitted roof surfacing materials (including accessory garages and carports); wood shakes, asphalt, fiberglass, composition or wood shingles, clay, concrete or metal tiles, slate, rubber membrane, built-up gravel materials;
 - g. Exterior siding shall extend to the top of the foundation. If the top of the foundation is below grade, the siding shall extend to the ground; and
 - h. Permitted exterior siding materials including accessory garages and carports); wood, masonry, concrete stucco, Masonite, vinyl, metal lap.

The zoning board of appeals, as provided in article II, division 5, may waive one or more of the above minimum standards, except the standard in subsection a., upon a finding that the proposed architectural style provides compensating design features and the dwelling will be compatible with other dwellings in the neighborhood.

(Code 1968, § 9.21; Ord. No. 319, § 2, 8-3-2010; Ord. No. 425, § I, 9-6-2016; Ord. No. 435, § I, 9-19-2017)



Department of Public Works

To: Mayor Welch, Milton Plan Commission
From: Howard Robinson, Director of Public Works
Date: October 20, 2020
Subject: Discussion and Possible Action Regarding Determination on Substantial Change to Site Plan and Possible Approval of Revised Site Plan For Red Hawk Apartments Located Along Parkview Drive

Summary

The Red Hawk Apartment Development previously received P.U.D. zoning and site plan approval in October 2019. Since then, they have revised their original site plan. Items that have been revised are:

- The elimination of indoor garage buildings. A parking lot will replace the garage buildings. They have increased the number of stalls from 146 to 208 with this design.
- The playground is no longer included in this plan. A sidewalk from the parking lot to the playground has also been eliminated.

The Plan Commission will need to decide if this is a substantial alteration to the original plan. If Plan Commission decides these changes are a substantial alteration, then a second, separate decision needs to be made on the approval of the newly submitted site plan. If Plan Commission decides that the new plans are not a substantial alteration, no further action is required.

A site plan map is included that outlines the areas that are changing. Also included is a site plan outlining their original plan. A letter is included that answers engineering questions and requests a substantial alteration site plan review if needed.

If approval is granted they will proceed with construction.

Recommendation

The City Administration recommends approval of the newly revised site plan for Red Hawk Apartments.

Tim Brown

From: Bekta, Eugene D - DNR <Eugene.Bekta@wisconsin.gov>
Sent: Wednesday, June 3, 2020 3:31 PM
To: Tim Brown
Subject: RE: Construction Site Storm Water Discharge Permit Coverage

Thank you Tim.

This work can be included under the current DNR storm water permit. However, as City of Milton is a permitted MS4, DNR defers to the city for any additional storm water requirements.

Please contact me with questions or concerns.

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

E. Dan Bekta, P.E.

Cell: (608)333-6579

Eugene.Bekta@Wisconsin.gov



From: Tim Brown
Sent: Wednesday, June 03, 2020 3:17 PM
To: Bekta, Eugene D - DNR
Subject: RE: Construction Site Storm Water Discharge Permit Coverage

Eugene,

Attached are two rough sketches, the permitted file is the one that you have seen and approved. The new file is the potential redesign without the garages. Would these need to be fully re-permitted?

Sincerely,
Tim

Tim Brown, P.E.
p 414.249.6108. Ext. 105

Eriksson Engineering Associates, Ltd.
Illinois Wisconsin Indiana | www.eea-ltd.com
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From: Bekta, Eugene D - DNR <Eugene.Bekta@wisconsin.gov>
Sent: Wednesday, June 3, 2020 3:04 PM
To: Tim Brown <tbrown@eea-ltd.com>
Subject: RE: Construction Site Storm Water Discharge Permit Coverage

Hello Tim,

Thank you for the update, if you can send a sketch of the changes, that would be good.

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

E. Dan Bekta, P.E.

Cell: (608)333-6579

Eugene.Bekta@Wisconsin.gov



From: Tim Brown <tbrown@eea-ltd.com>

Sent: Wednesday, June 03, 2020 3:00 PM

To: Bekta, Eugene D - DNR <Eugene.Bekta@wisconsin.gov>

Subject: RE: Construction Site Storm Water Discharge Permit Coverage

Eugene,

We received a request from the owner of the project to remove the garages in the parking lot. I want to reach out to you to see if you would need to rereview the project or if this could be handled as a field change. If anything, this change will result in more pervious area (removing garage roofs and installing landscaped islands) with less underground pipe. Please feel free to call me to discuss.

Thank you,
Tim

Tim Brown, P.E.

p 414.249.6108. Ext. 105

Eriksson Engineering Associates, Ltd.

Illinois Wisconsin Indiana | www.eea-ltd.com

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From: Bekta, Eugene D - DNR <Eugene.Bekta@wisconsin.gov>

Sent: Wednesday, October 23, 2019 3:37 PM

To: Tim Brown <tbrown@eea-ltd.com>

Subject: Construction Site Storm Water Discharge Permit Coverage

Good afternoon Tim,

DNR has issued construction site **Storm Water Permit Coverage** for **Red Hawk Apartments, City of Milton, WDNR FIN 68831**. The coverage is effective today, **October 23, 2019**.

A hard copy of the letter of coverage and certificate will be mailed to **Jeremy Yost** of **Yost Management**. An electronic copy is attached for your use.

Thank you for your submittal and please contact me with questions or concerns.

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

E. Dan Bekta, P.E.

Water Resources Engineer- Bureau of Watershed Management/Division of External Services

Wisconsin Department of Natural Resources

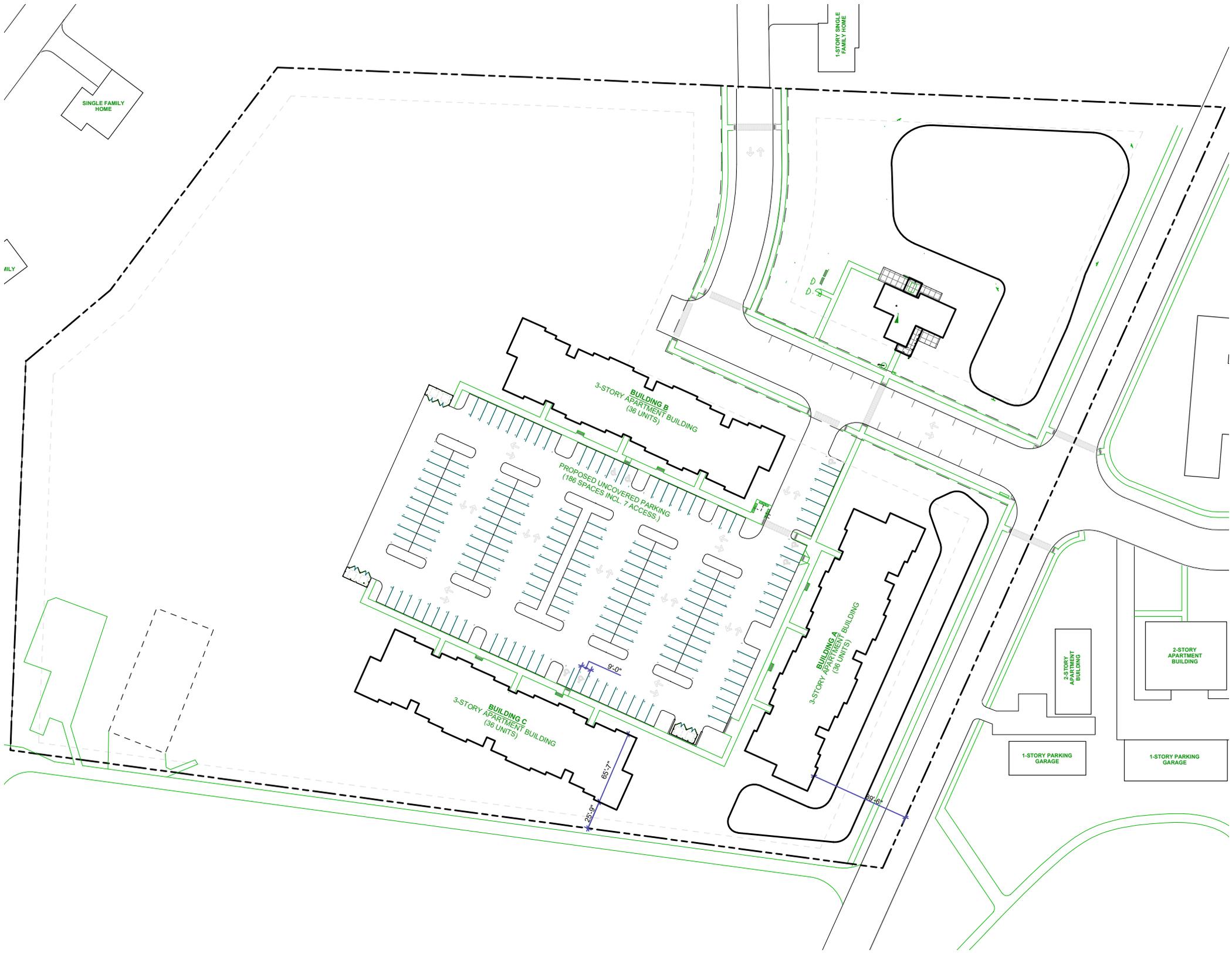
3911 Fish Hatchery Road

Fitchburg, Wisconsin 53711

Cell: 608-333-6579

Eugene.Bekta@Wisconsin.gov





1-STORY SINGLE FAMILY HOME

SINGLE FAMILY HOME

FAMILY

BUILDING B
3-STORY APARTMENT BUILDING
(36 UNITS)

PROPOSED UNCOVERED PARKING
(186 SPACES INCL. 7 ACCESS.)

BUILDING A
3-STORY APARTMENT BUILDING
(36 UNITS)

BUILDING C
3-STORY APARTMENT BUILDING
(36 UNITS)

3-STORY APARTMENT BUILDING

2-STORY APARTMENT BUILDING

1-STORY PARKING GARAGE

1-STORY PARKING GARAGE

9'-0"

65'-7"

28'-3"

62'-16"

S87°46'53"E 245.45'

S87°24'22"E 210.62'

S87°39'03"E 177.59'

- 213.11' -
S87°31'05"E 177.57'

N87°46'53"W 5269.31'
20' ELECTRIC EASEMENT
PER DOC. NO. 2063134
20' WATERMAN EASEMENT
PER DOC. NO. 2063371

N49°47'36"E 98.45'
N38°57'05"E 248.65'

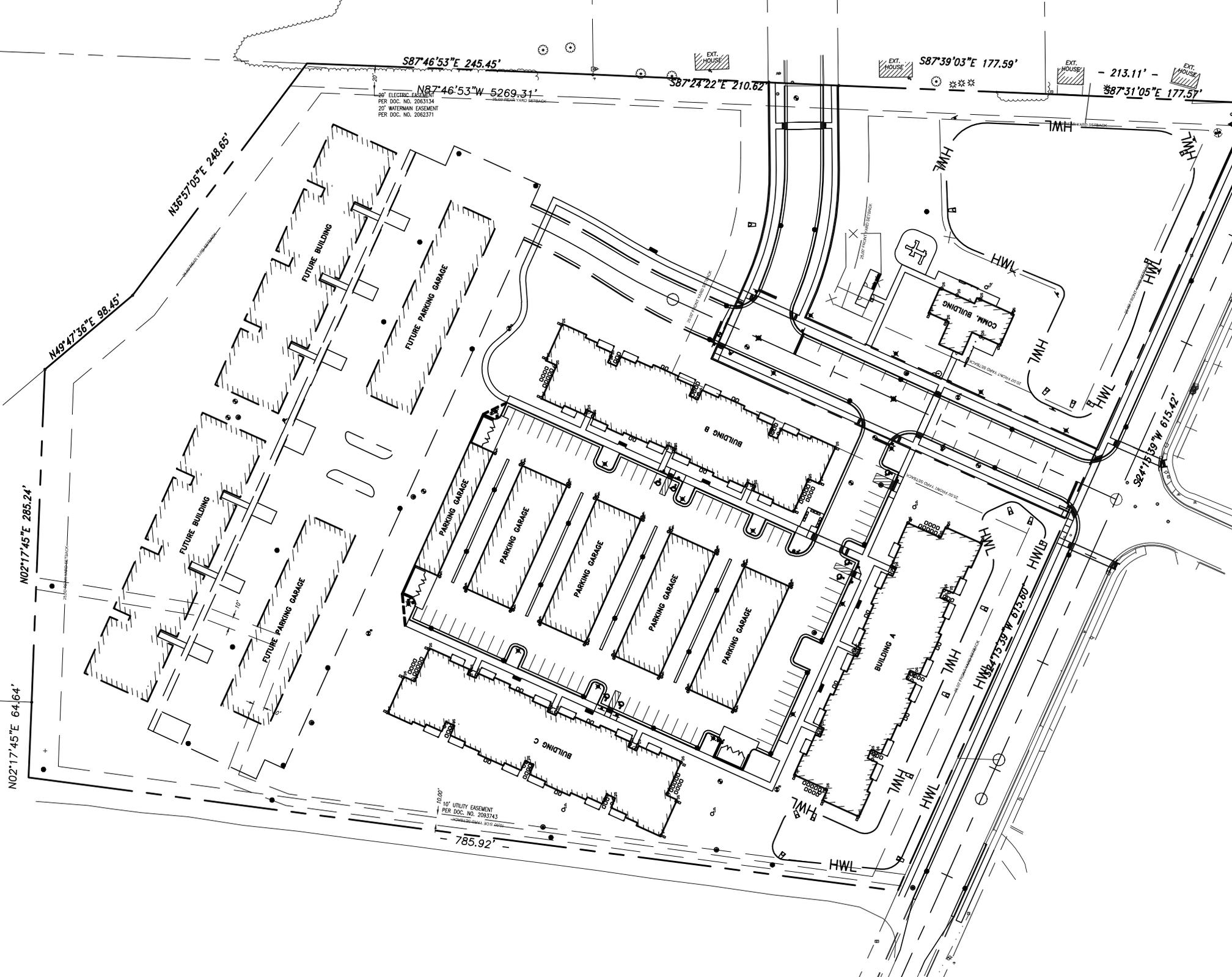
N02°17'45"E 285.24'

N02°17'45"E 64.64'

S24°45'59"W 615.42'

785.92'

10.00'
10' UTILITY EASEMENT
PER DOC. NO. 2063743



Tim Brown

From: Schwartz, Luke - DSPS <Luke.Schwartz@wisconsin.gov>
Sent: Tuesday, October 13, 2020 1:50 PM
To: Tim Brown
Cc: Hachtel, Bo - DSPS
Subject: RE: Plan Approval - Red Hawk Apartments

Tim,

If the city of Milton is requesting correspondence it probably means they want approval of the changes?

Per SPS 382.20(8). REVISIONS. All changes or modifications, which involve the provisions of chs. SPS 382 to 384, made to plumbing plans and specifications, which have been granted approval under sub. (1), shall be submitted to the department or agent municipality for examination. All changes and modifications shall be approved in writing by the department or agent municipality prior to installation of the plumbing.

I regretfully do not recall our conversation. Basically if piping or locations of piping is being changed from the original approved plans, a revision submittal would be required. This would entail doing another submittal via the eSLA portal for a "Revision to previously approved plan".

If you have any questions or concerns please contact me via email. Thank you,

Luke Schwartz | Division of Industry Services | State of Wisconsin Dept. of Safety and Professional Services |
luke.schwartz@wisconsin.gov | 2850 Midwest Dr Suite 104, Onalaska, WI 54650. |.

The Department offers an e-mail subscription service that provides electronic notification of news and/or notices that may be of interest to you. To sign up for this service, [click here](#).

For General Plumbing Code Related Questions send email to: DspsSbPlbgTech@wi.gov or Phone 608-267-9421.
For Public Swimming Pool Related Questions send email to: DspsSbPoolTech@wi.gov For Plumbing Products Related Questions send email to: DspsSbProductTech@wi.gov

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<https://www.surveymonkey.com/s/dspsiscustomersatisfactionplumbingpools> to evaluate your experience with the DSPS."

*****NOTICE: To better serve our customers in a more equitable manner Effective July 6th the Department has changed the requirements to comply with an Additional Information (AI) Letter from 30 business days to 15 business days. The designer has until 15 business days from the date of the original AI letter to provide acceptable follow-up information to the Department. If no conditional approval actions occur by the end of the 15th day, the plans will be denied.

Additionally, we will require a submitter's checklist to be filled out, signed, and submitted with all plan submissions. Links for the new submitter's checklist for Commercial Building/HVAC, Fire Protection/Fire Alarm, Plumbing*****

-----Original Message-----

From: Tim Brown <tbrown@eea-ltd.com>
Sent: Tuesday, October 13, 2020 8:45 AM

To: Schwartz, Luke - DSPS <Luke.Schwartz@wisconsin.gov>

Cc: Hachtel, Bo - DSPS <Bo.Hachtel@wisconsin.gov>

Subject: RE: Plan Approval - Red Hawk Apartments

Luke,

I believe we spoke on the phone regarding this and that you had no need to see the updated plans, but can you confirm? There are no changes in lengths or sizes for the sanitary or water lines. The storm sewers do change, but not drastically. Total flows are reduced as we are removing garage roofs and adding landscaped areas. Attached are two sketches, the permitted plan that you already approved and the new plan. Please respond via email whether or not you will need to see anything else from us. The City of Milton is requesting correspondence as we are going back into them for a PUD change.

Thank you for your help.

Sincerely,

Tim

Tim Brown, PE (WI, IL)

Project Engineer

p 414.249.6108. Ext. 105

c 708.819.0501

Eriksson Engineering Associates, Ltd.

25 Years | Civil | Traffic & Parking | Landscape Architecture Illinois | Wisconsin | Indiana | <http://secure-web.cisco.com/1Ybd-ljrEasjRWTRnEaLnuk7lLpNsSka2EwqY0s0ooLh->

[twr2t6cY_EZgyKS5vJElpHYhprQhcW4l7qYRarXe6DtkRoPHAvLSfTAnfGM2GWZM003Pxgla-](http://secure-web.cisco.com/1Ybd-ljrEasjRWTRnEaLnuk7lLpNsSka2EwqY0s0ooLh-twr2t6cY_EZgyKS5vJElpHYhprQhcW4l7qYRarXe6DtkRoPHAvLSfTAnfGM2GWZM003Pxgla-)

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-----Original Message-----

From: Tim Brown

Sent: Wednesday, June 3, 2020 2:48 PM

To: 'Luke Schwartz ' <luke.schwartz@wisconsin.gov>

Cc: bo.hachtel@wisconsin.gov

Subject: RE: Plan Approval - Red Hawk Apartments

Luke,

We received a request from the owner of the project to remove the garages in the parking lot. I want to reach out to you to see if you would need to rereview the project or if this could be handled as a field change. If anything, this change will result in more pervious area (removing garage roofs and installing landscaped islands) with less underground pipe. Please feel free to call me to discuss.

Thank you,

Tim

Tim Brown, P.E.

p 414.249.6108. Ext. 105

Eriksson Engineering Associates, Ltd.

Illinois Wisconsin Indiana | http://secure-web.cisco.com/1Ybd-ljrEasjRWTRnEaLnuk7lLpNsSka2EwqY0s0ooLh-twr2t6cY_EZgyKS5vJElpHYhprQhcW4l7qYRarXe6DtkRoPHAvLSfTAnfGM2GWZM003Pxlsa-uR1jHdpykNWwKYjtnBjwVLqT1iCrZd7C72UZM-Me4M-Furnz2fVMmh4u65c7Q7BwHiDa3R8BCZWR79j8yeYy-bmzo8r4AY1VR2upMMP7K0Xcl0ls4O9vtqC4l3L65zk-230iYeug8HUCfvioKv7znXcR-4o2lJ02A/http%3A%2F%2Fwww.eea-ltd.com

Ready for a new challenge? Join the EEA team

-----Original Message-----

From: Luke Schwartz <luke.schwartz@wisconsin.gov>

Sent: Tuesday, March 3, 2020 3:50 PM

To: Tim Brown <TBrown@eea-ltd.com>

Cc: bo.hachtel@wisconsin.gov

Subject: Plan Approval - Red Hawk Apartments

Plumbing Plan Approval Letter - PL-022000100-PRSO

Related to DIS-101912890

Red Hawk Apartments

Prior to Clicking on link, open Chrome, then copy link into Chrome

Then Do Not log in, rather click on the SSO to download plan

LINK to approved plans: https://secure-web.cisco.com/1cl6blrEcUoEV1vSGWTt0beLLO9JaR4jMunu4AX-qKw-qzrv4FWKiZWvbV6wk8R6mkizlniDnn990ax-j3p4z0879i6ki6qOwQGi2sx3m-BDkkKfcbc8qrdUFxevUOqjYtBosX-9OviEbQbWaRcUc82OawsPIMjQWw0HEYR-Xj2YYXeUWJGF0z11P9QLm-nAeLOhduB4q6gAywDn1pTsDN9-b2DccFFydfJagAw68FOom_M4ufbZY2UNLb0DpoSiZXAWdwmhbVS6B93Wu-wBcRthLbblzUVvoVr5UhmUds6o/https%3A%2F%2Fstudio.bluebeam.com%2Fshare%2Fy2dvq7

If you have any additional questions and/or concerns, please let me know.

Thank you again and have a good day.

Sincerely,

Luke Schwartz

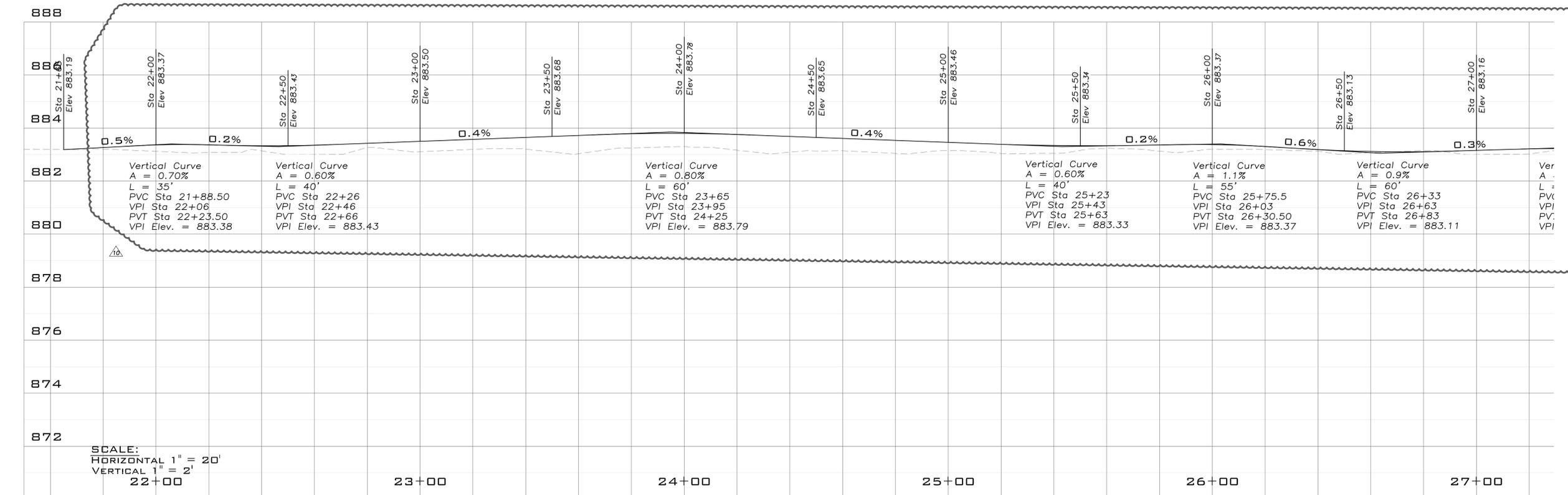
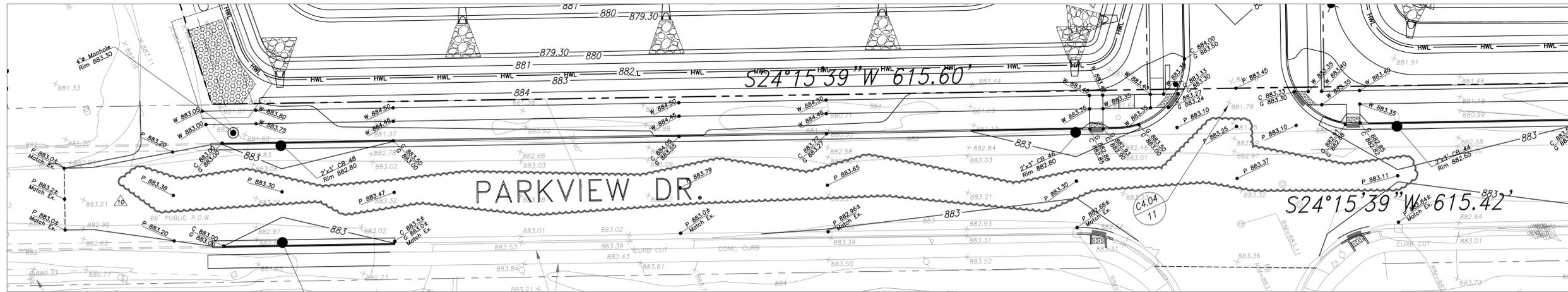
Division of Industry Services

State of Wisconsin Dept. of Safety and Professional Services | Plumbing Plan Reviewer

Office: 608-789-7893 | Mon-Fri 7:45 am - 4:30 pm | luke.schwartz@wisconsin.gov



Scale: 1" = 20'



SCALE:
HORIZONTAL 1" = 20'
VERTICAL 1" = 2'
22+00



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229 E WISCONSIN AVE, STE. 1102
MILWAUKEE, WISCONSIN 53202
PHONE: (414) 249-6100
FAX: (414) 249-6103
EMAIL: INFO@EEA-LTD.COM

RED HAWK APARTMENTS
N PARKVIEW DRIVE & BLANCHE DRIVE
MILTON, WI 53563

Reserved for Seal:



No.	Date	Description
	08.01.19	Owner Review
	08.09.19	Progress Set
	09.16.19	Issued for Permit Set
	10.04.19	Reissued for Permit Set
	10.15.19	Issued for Plan Commission
	02.11.20	Reissued for Permit Set
	08.28.20	Civil Grading Changes
	10.13.20	Plan Commission - Significant Alteration

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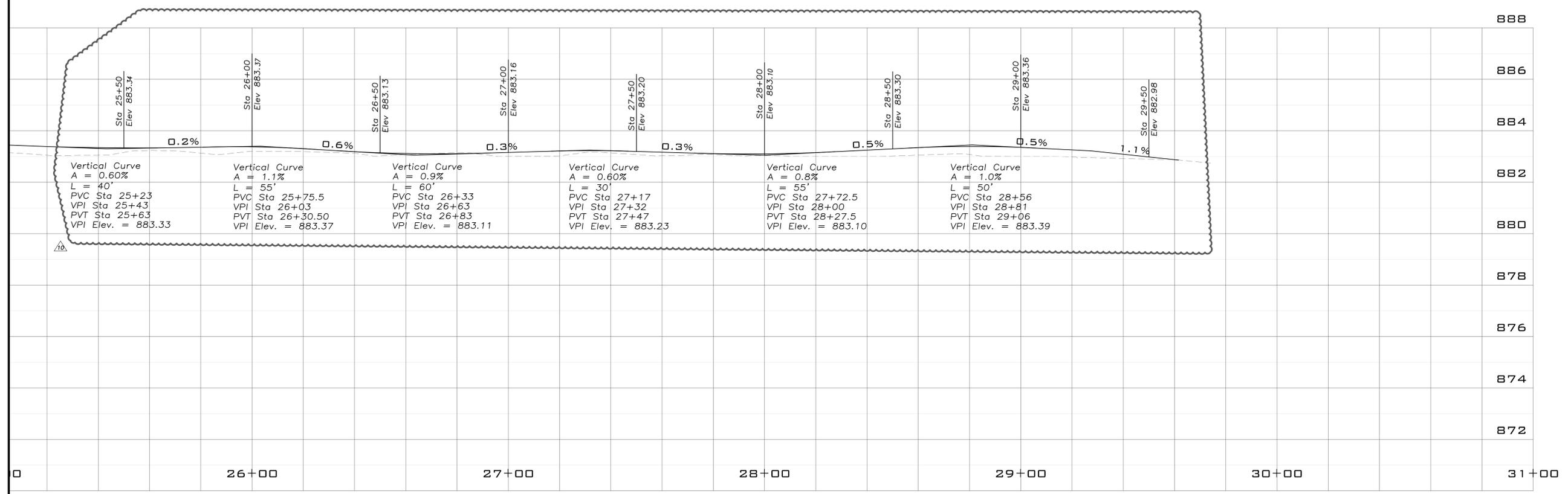
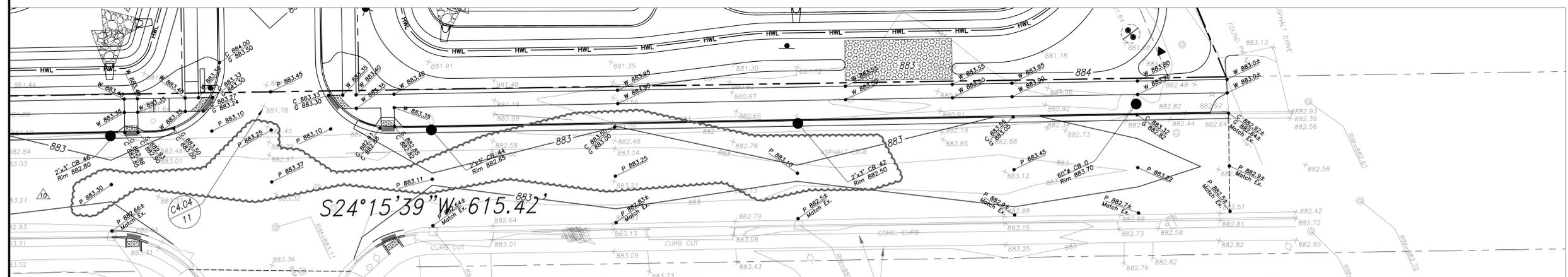
Design By: TOB Approved By: TOB Date: 10.13.20

Sheet Title:
**PARKVIEW DR
ROADWAY PLAN
AND PROFILE**

Sheet No:
C-7.01



Scale: 1" = 20'



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RED HAWK APARTMENTS
N PARKVIEW DRIVE & BLANCHE DRIVE
MILTON, WI 53563

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Design By: TOB Approved By: TOB Date: 10.13.20

Sheet Title:
**PARKVIEW DR
ROADWAY PLAN
AND PROFILE**

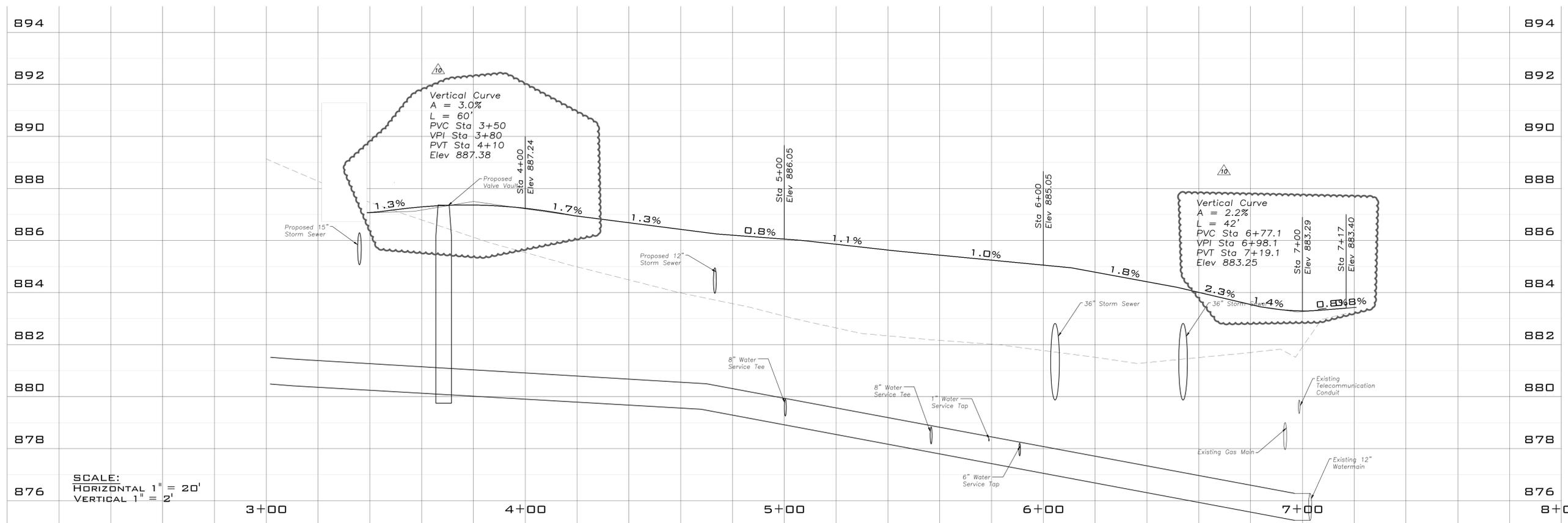
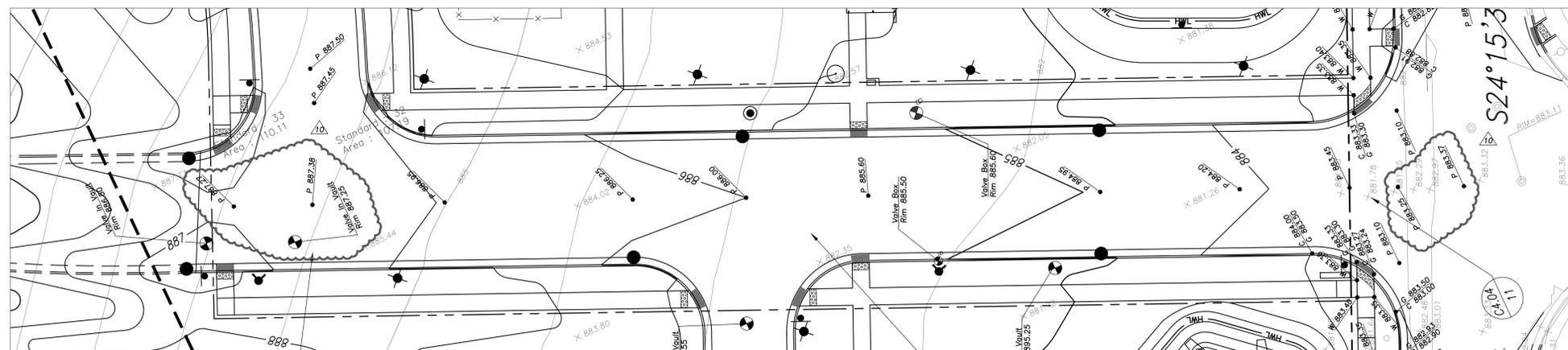
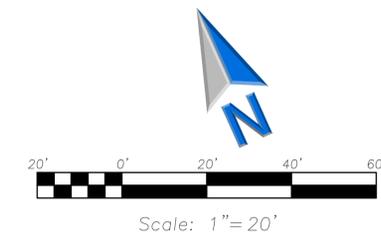
Sheet No:
C-7.02

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Plotted: 10/13/20 @ 3:26pm By: tbrown

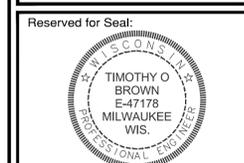


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RED HAWK APARTMENTS
N PARKVIEW DRIVE & BLANCHE DRIVE
MILTON, WI 53563



No.	Date	Description
	08.01.19	Owner Review
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	08.28.20	Civil Grading Changes
	10.13.20	Plan Commission - Significant Alteration

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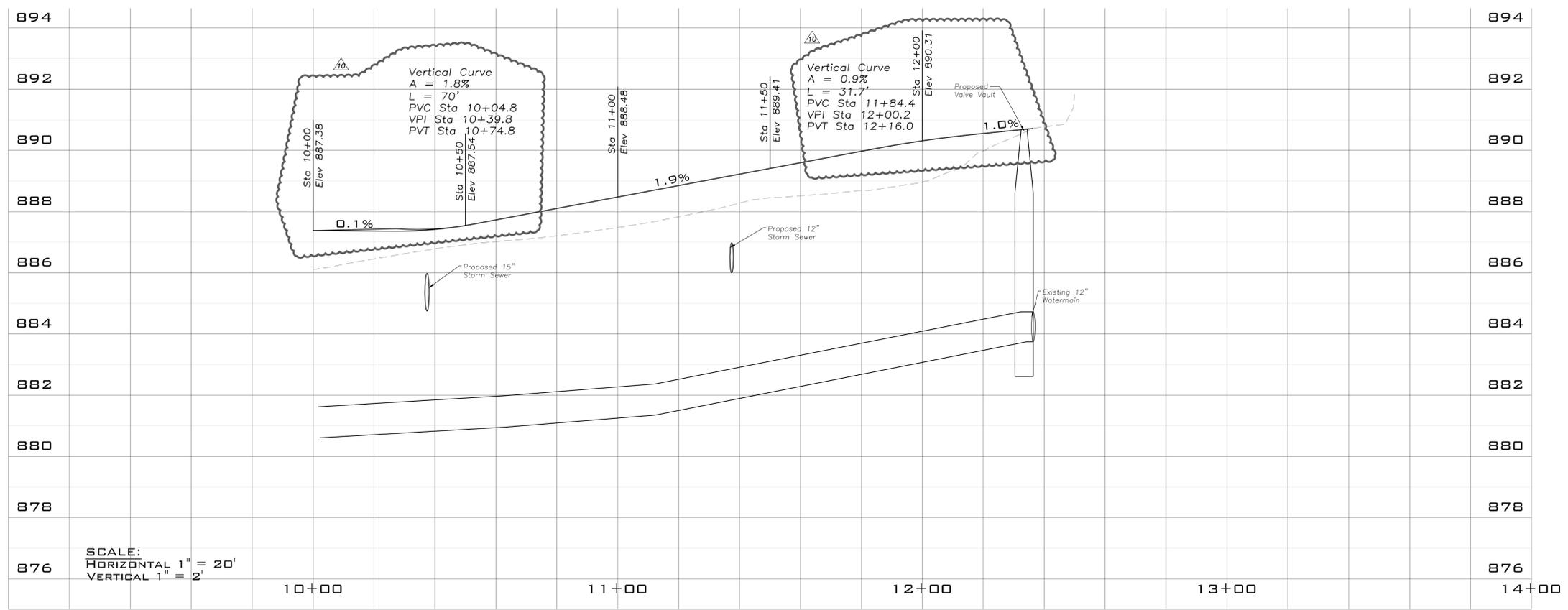
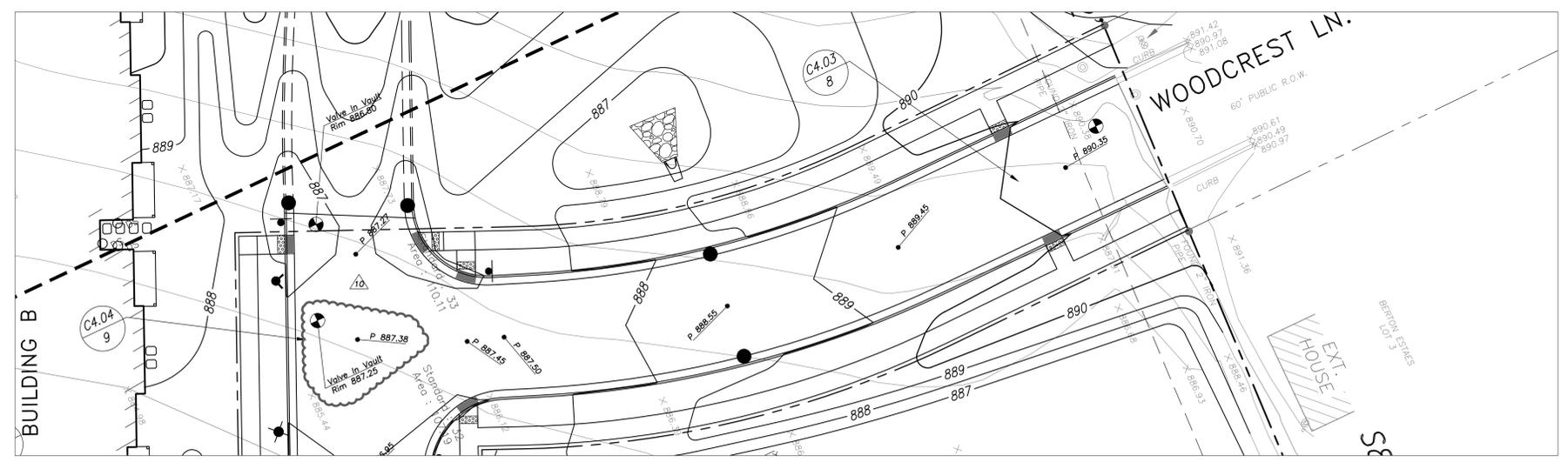
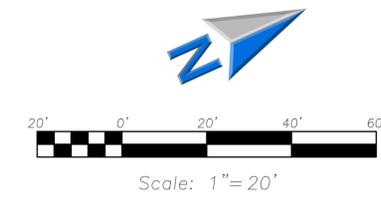
Design By: TOB Approved By: TOB Date: 10.13.20

Sheet Title:
**BLANCHE DR
ROADWAY PLAN
AND PROFILE**

Sheet No:
C-7.03

EEA - P:\Tm\Warm Jerabek Wittse Architects - Red Hawk Apartments of Milton\Drawings\Red Hawk Site Plan.dwg
Plotted: 10/13/20 @ 3:31pm By: tbrown

EEA - P:\Tm\Warm Jerabek Wittse Architects - Red Hawk Apartments of Milton\Drawings\Red Hawk Site Plan.dwg
 Plotted: 10/13/20 @ 3:32pm By: tbrown



SCALE:
 HORIZONTAL 1" = 20'
 VERTICAL 1" = 2'

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Reserved for Seal:

No.	Date	Description
	08.01.19	Owner Review
	08.09.19	Progress Set
	09.16.19	Issued for Permit Set
	10.04.19	Reissued for Permit Set
	10.15.19	Issued for Plan Commission
	02.11.20	Reissued for Permit Set
	08.28.20	Civil Grading Changes
	10.13.20	Plan Commission - Significant Alteration

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Design By: TOB Approved By: TOB Date: 10.13.20

Sheet Title:
**WOODCREST LN
 ROADWAY PLAN
 AND PROFILE**

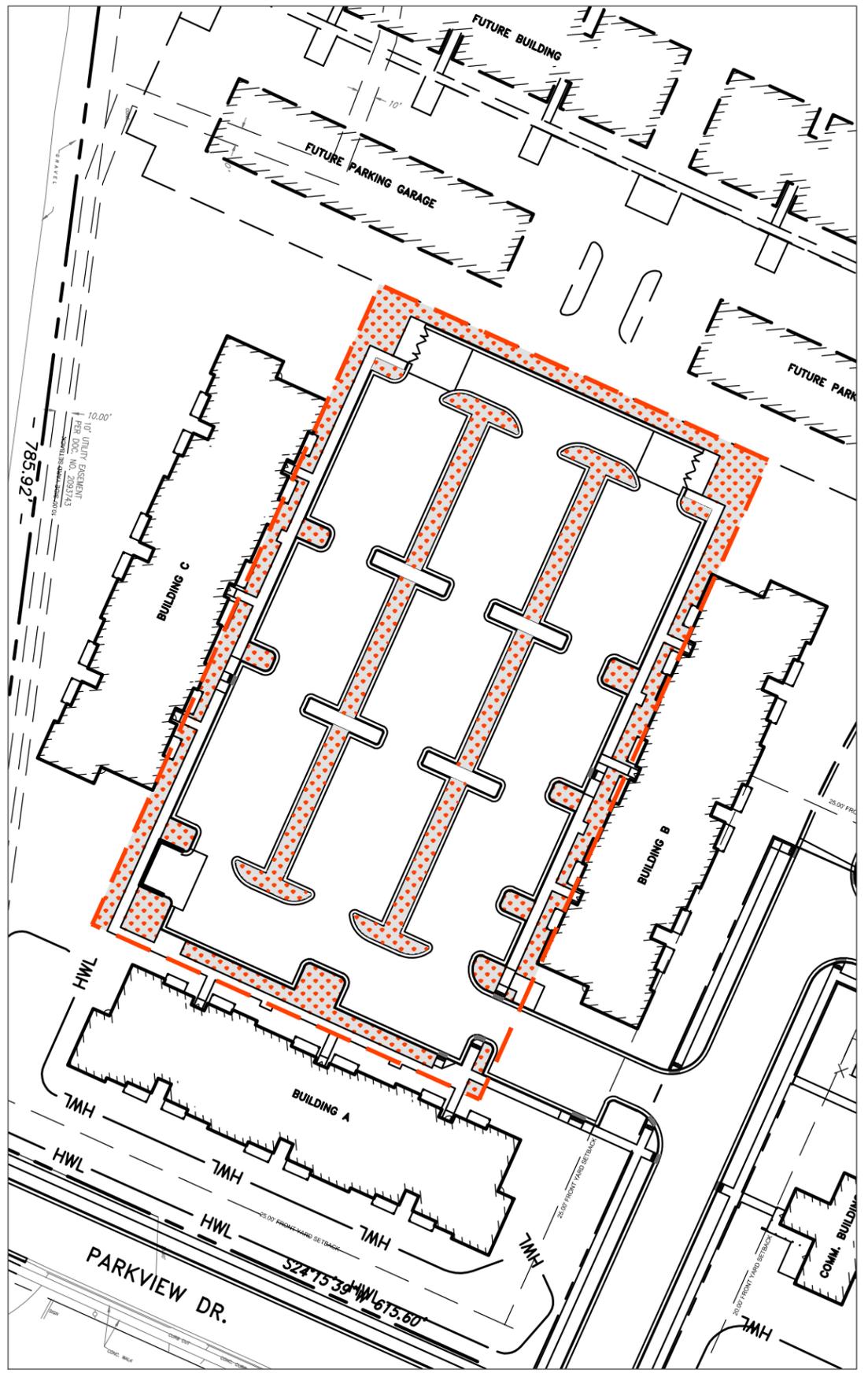
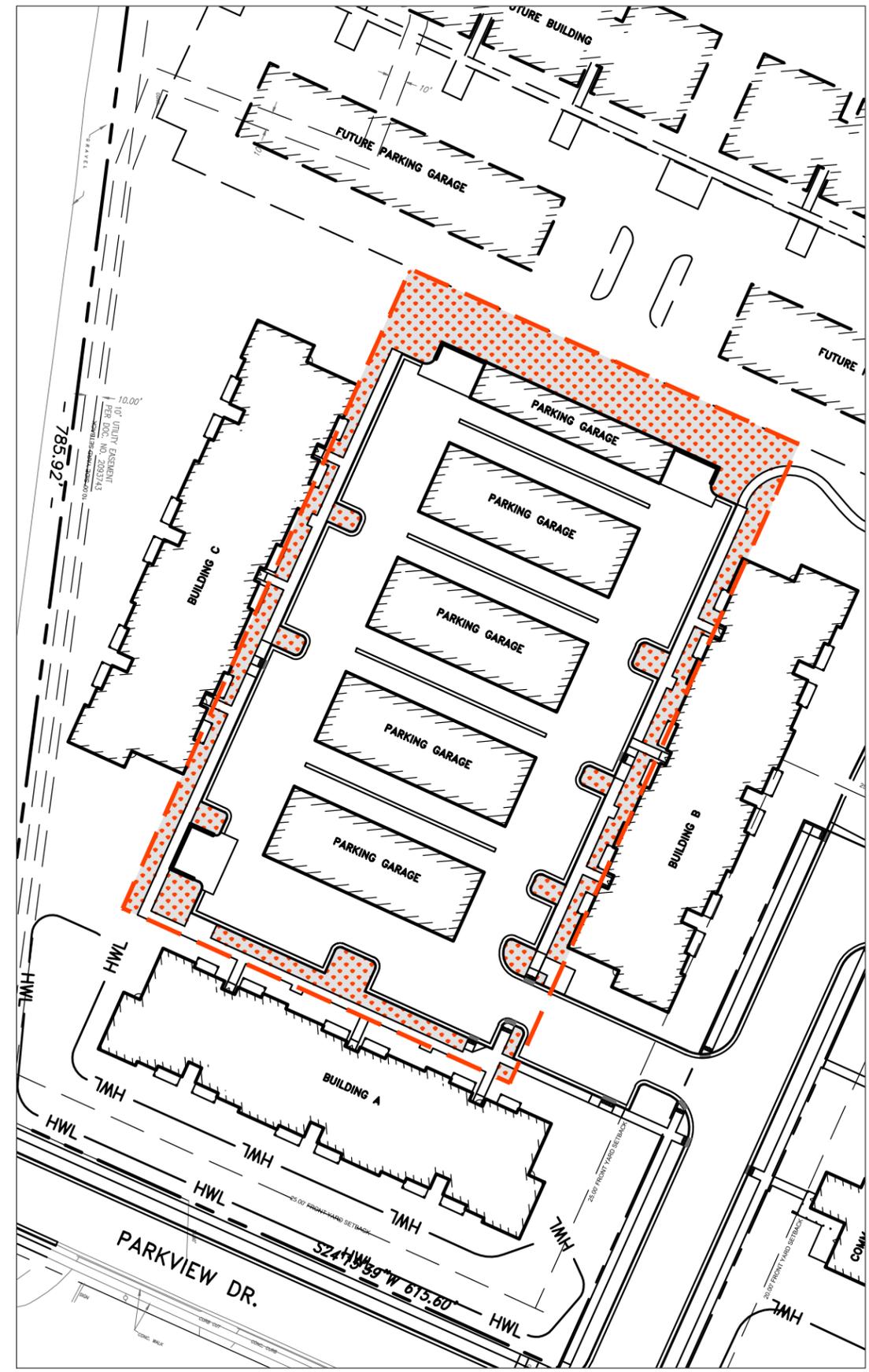
Sheet No:
C-7.04



Scale: 1"=80'



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EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-0003220
EXPIRES: 04/30/2021



AREA TABLE

Total Area Dashed (Both Plans)
= 91,927 SF

Previously Permitted Design
Pervious Area = 16,702 SF

Newly Proposed Design Pervious
Area = 18,390 SF

****New Design Increase Green
Space By 1,688 SF**

PREVIOUSLY PERMITTED DESIGN

NEWLY PROPOSED DESIGN

**Red Hawk Apartments
Milton, WI**

Design By: **TOB** Checked By: Date: **10.13.2020**

Sheet Title:
**IMPERVIOUS
AREA
COMPARISON
EXHIBIT**

Sheet No:
CEX1

EEA - C:\Users\rbrown\Desktop\Red Hawk Exhibit.dwg
Plotted: 10/13/20 @ 4:10pm By: rbrown

October 13, 2020

Mr. Mark E. Langer, PE
City of Milton
710 S Janesville St.
Milton, WI 53563



Re: Red Hawk Apartments
Milton, WI

Dear Mark:

Please find enclosed the following revised documents for your review and approval for construction of proposed improvements to Red Hawk Apartments in Milton, WI and watershed management for the above referenced project. This is being provided to request review of a substantial alteration to the PUD for Plan Commission and site plan review from the engineering department.

We offer the following responses to your comments emailed on October 6, 2020.

10-06-20 Review Comments

1. Provide bubbles or similar notation indicating changes from the previously approved civil plan set.
Changes have been bubbled as requested.
2. The existing sanitary sewer manhole near the LS is installed if you wanted to verify the location/elevation for your plans.
Noted. We will work with the contractor to review the existing structure.
3. Are there any water main loops inside the site or the buildings? If so we need to make sure the appropriate backflow prevention devices are installed.
No. There are no cross connections within the building.
4. Please provide updated storm water calculations, report, management plan and permit correspondence with DNR acknowledging changes to the proposed site.
A previous area exhibit has been created and submitted along with the plans. An email from DNR noting that no resubmittal is required as also been submitted for your records.
5. Provide similar correspondence for sewer and water if changes or alterations to those utilities were made from the permitted plans received last year.
Plans have been submitted for DSPS review. An email from DSPS requesting the review has been submitted for your records.
6. See FDM 11-10. The vertical curves do not meet minimum requirements. Attachments 5.4 and 5.6 provide minimum crest and sag curve lengths.
The plans have been updated per your comment and phone call conversations.
7. Are all mains outside of the rights-of-way as well as leaving the right-of-way and beyond valves or manholes along Parkview, Blanche and Woodcrest intended to be private?
Per the agreement with the City of Milton, the sanitary main on the south property line will be public. The other utilities will be private at this time.
8. Provide plans for review to the Milton fire department for review of proposed fire protection.
The geometry plan is included with the civil set. Also submitted for review is the fire protection plan from the plumbing engineer.

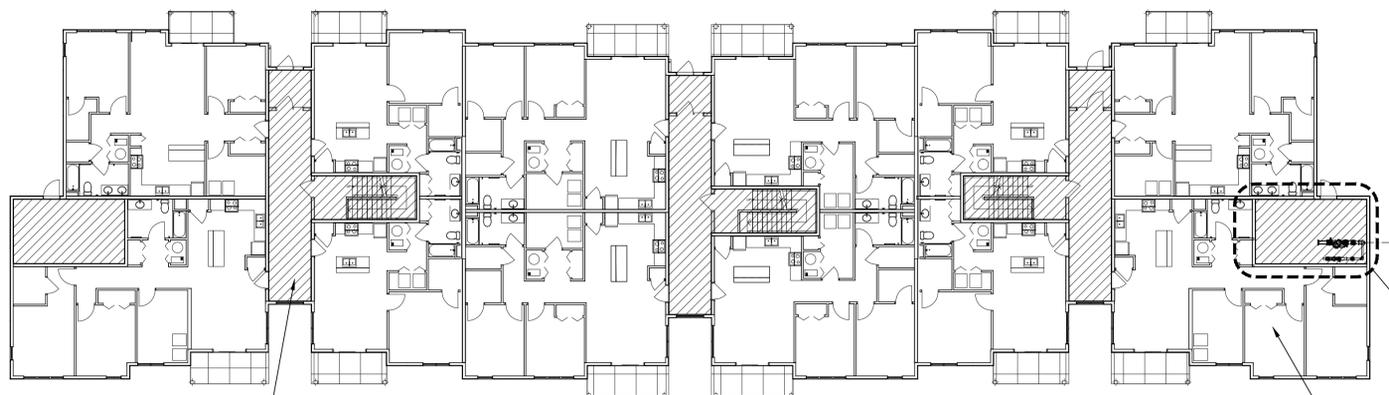
We would appreciate your assistance in expediting the approval of the permit, as we hope to begin construction as soon as possible. Thank you for your cooperation, and if you should have any questions please do not hesitate to contact me.

Very truly yours,

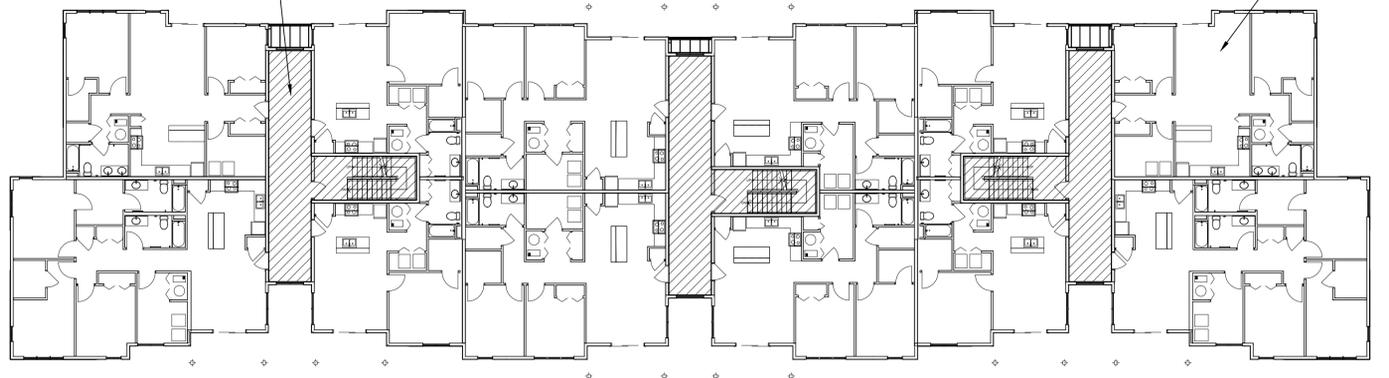
Eriksson Engineering Associates, Ltd.

A handwritten signature in black ink, appearing to read "Tim", with a large, stylized flourish that loops back and ends in three dots.

Timothy Brown, PE
Project Engineer



1ST FLOOR FIRE PROT. PLAN – TYP. BLDG 'A', 'B' & 'C'
SCALE: 1/16"=1'-0"



2ND & 3RD FLOOR FIRE PROT. PLAN – TYP. BLDG 'A', 'B' & 'C'
SCALE: 1/16"=1'-0"

FIRE PROTECTION SHEET LIST
FP0.1 FIRE PROTECTION PLANS AND NOTES

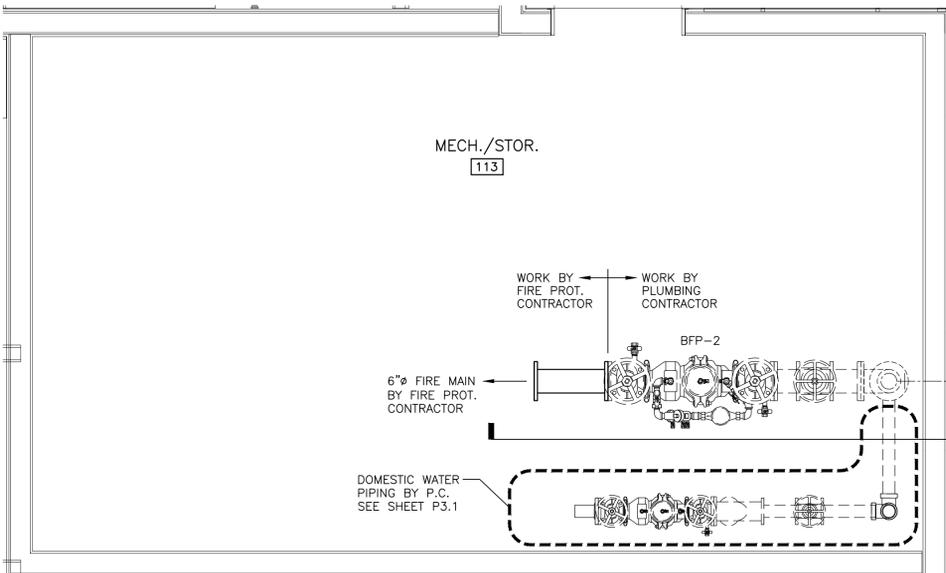
FIRE PROTECTION NOTES:

- THE BUILDING SHALL BE FULLY PROTECTED BY A HYDRAULICALLY DESIGNED WET PIPE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13R, WITH PUBLIC/Common AREAS HYDRAULICALLY CALCULATED TO MEET THE REQUIREMENTS OF NFPA 13 PER THE RESPECTIVE AREAS INDICATED ON THE PLANS.
- CONTRACTOR SHALL FLUSH OUT PIPING IN ACCORDANCE WITH NFPA 25 "INSPECTION, TESTING AND MAINTENANCE OF WATER BASED FIRE PROTECTION SYSTEMS."
- CONTRACTOR SHALL PROVIDE ALL NEW SPRINKLER HEADS. PROVIDE TYPES AND FINISHES AS SPECIFIED ON THESE PLANS.
- F.P. CONTRACTOR SHALL PROVIDE PADDLE FLOW SWITCH AND SUPERVISORY SWITCHES AND PROVIDE AND CONNECT THESE DEVICES TO AN AUDIBLE ALARM IN ACCORDANCE WITH NFPA 13.
- PROVIDE MAIN AND AUXILIARY DRAINS. MAIN DRAIN SHALL DISCHARGE TO THE EXTERIOR OF THE BUILDING.
- PROVIDE FIRE DEPARTMENT SIAMESE HOSE CONNECTION TO THE FIRE SPRINKLER SYSTEM.
- FIRE PROTECTION CONTRACTOR SHALL PROVIDE SEISMIC RESTRAINTS ON ALL F.P. SPRINKLER PIPING 2 1/2" AND LARGER THAT IS SUSPENDED 12" OR MORE FROM THE TOP OF THE PIPE TO THE BOTTOM OF THE SUPPORT FOR THE HANGER.
- PROVIDE RISERS, MAIN AND BRANCH PIPING, AND SPRINKLER HEAD LAYOUT DESIGNED ACCORDING TO NFPA 13 (FOR PUBLIC AREAS) AND NFPA 13R FOR RESIDENTIAL AREAS. CONTRACTOR SHALL INSTALL NEW PIPING ACCORDING TO NFPA 13 AND 13R RESPECTIVELY.
- CONTRACTOR SHALL PROVIDE SUPERVISOR SWITCHES ON ALL NEW MAIN SHUTOFF VALVES INCLUDING SECTIONALIZING VALVES AT EACH FLOOR LEVEL OR ZONE AS REQUIRED.
- THE ATTIC AREA SHALL NOT BE REQUIRED TO BE PROTECTED. (PER NFPA 13R DESIGN REQUIREMENTS) REFER TO ARCHITECTURAL FOR REQUIRED DRAFT STOPPING IN ATTIC AND INTERSTITIAL AREAS.
- HAZARD CLASSIFICATION AND DESIGN PARAMETERS:

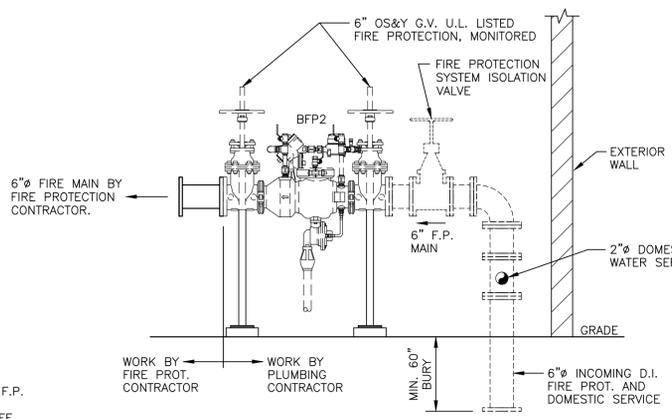
RESIDENTIAL LIVING UNITS, (NFPA 13R)	-LIGHT HAZARD; 0.10 GPM/S.F. DENSITY FOR MOST REMOTE 1500 S.F.
OFFICES AND CORRIDORS (NFPA 13)	-LIGHT HAZARD; 0.10 GPM/S.F. DENSITY FOR MOST REMOTE 1500 S.F.
PORCHES (NFPA 13)	-LIGHT HAZARD; 0.10 GPM/S.F. DENSITY FOR MOST REMOTE 1500 S.F. PLUS 30% DRY SYSTEM INCREASE PLUS 30% SLOPED ROOF INCREASE. (TOTAL = 2535 S.F.)
MECHANICAL SPACES, STORAGE (NFPA 13)	-ORDINARY HAZARD; 0.15 GPM/S.F. DENSITY FOR MOST REMOTE 1500 S.F.
EXTERIOR HOSE ALLOWANCE:	-100 GPM FOR 30 MIN. (LIGHT HAZARD) 250 GPM FOR 30 MIN. (ORDINARY HAZARD)
- REFER TO ARCHITECTURAL DRAWINGS FOR ROOM ARRANGEMENT AND ROOM FINISH SCHEDULE.
- COORDINATE INSTALLATION OF SPRINKLERS WITH WORK OF OTHER TRADES.
- NEW 6" WATER SERVICE. (BY OTHERS)
- 1st, 2nd, AND 3rd FLOOR TO BE FED BY WET SYSTEM. 3rd FLOOR APARTMENTS TO BE PROTECTED BY SIDEWALL SPRINKLERS, PIPING SHALL NOT BE ROUTED THROUGH THE ATTIC TRUSSES AS THIS SPACE WILL BE SUBJECT TO FREEZING.
- ATTACHED PORCH AREAS ARE TO BE PROTECTED WITH DRY SIDEWALL SPRINKLERS.
- ALL 1"-2" PIPE SCH. 40 THREADED w/CAST IRON FITTINGS. (CPVC ALTERNATE ONLY IF APPROVED BY LOCAL AUTHORITY.)
- ALL 2 1/2" AND LARGER SCH. 10 GROOVED w/WELDED OUTLETS.
- PIPE SIZES PER HYDRAULIC CALCULATIONS.
- HANG ALL PIPE PER NFPA 13.
- HYDROSTATICALLY TEST ALL SPRINKLER SYSTEM PIPING AT 200 PSI FOR 2 HOURS.
- ALL MATERIALS SHALL BE U.L. AND F.M. APPROVED WHERE APPLICABLE.
- PROVIDE NOT LESS THAN THE MINIMUM NUMBER SPARE SPRINKLER HEADS, FOR EACH TYPE AND RATING USED ON THE JOB, IN ACCORDANCE WITH NFPA 13.
- SYSTEM IDENTIFICATION TAGS AND SIGNS SHALL BE AS CALLED FOR NFPA 13, INCLUDING PORCELAIN-ENAMEL HYDRAULIC DESIGN INFORMATION SIGNS AT MAIN RISERS. CONTROL, DRAIN AND TEST VALVES SHALL BE PROVIDED WITH IDENTIFICATION SIGNS IN ACCORDANCE WITH NFPA 13R.
- PROVIDE DRAIN VALVES AND PIPING AS REQUIRED TO PERMIT ALL SPRINKLER PIPING TO BE COMPLETELY DRAINED. PROVIDE INSPECTOR'S TEST CONNECTIONS IN ACCORDANCE WITH NFPA 13R.
- A FLOW TEST NEEDS TO BE PERFORMED BY THE FIRE PROTECTION CONTRACTOR.
- F.P. CONTRACTOR SHALL SUBMIT DESIGN DRAWINGS AND HYDRAULIC CALCULATIONS AS FOLLOWS:
 - TWO (2) SETS FOR APPROVAL TO:
 - CITY OF MILTON BUILDING INSPECTIONS DIVISION
 - ONE (1) SET OF "APPROVED" DRAWINGS AND CALCULATIONS ALONG WITH ANY LETTERS OF STIPULATION TO THE ENGINEER FOR PERMANENT RECORD:

- SPRINKLER HEADS SHALL BE AS FOLLOWS FOR LIVING AREAS:**
- RESIDENTIAL UNITS
 - RELIABLE QUICK RESPONSE STYLE (WET - ALL FLOORS)
 - SEMI RECESSED STYLE SPRINKLER WITH WHITE HEADS.
 - SPRINKLERS ARE REQUIRED IN THE LIVING ROOM, KITCHEN, HALLWAYS, BEDROOM, PTAC CLOSET, ALL OTHER CLOSETS OVER 24SF OR DEEPER THAN 3FT AND BATHROOMS OVER 55SF WITHIN EACH RESIDENTIAL LIVING UNIT.
 - SPRINKLER HEADS SHALL BE STANDARD TEMPERATURE.
 - ALL AREAS OTHER THAN RESIDENTIAL UNITS
 - RELIABLE QUICK RESPONSE STYLE
 - FINISHED AREAS: SEMI-RECESSED OR FULLY RECESSED STYLE SPRINKLER WITH WHITE HEADS. (SEE KEY PLANS FOR LOCATIONS)
 - UNFINISHED AREAS: PENDANT STYLE, CAST BRASS FINISH
 - SPRINKLER HEADS SHALL BE STANDARD TEMPERATURE.

NOTE:
3RD FLOOR APARTMENTS SHALL BE PROTECTED WITH A WET SPRINKLER SYSTEM USING SIDEWALL SPRINKLERS. PIPING SHALL NOT BE ROUTED THROUGH THE ATTIC TRUSSES AS THIS SPACE WILL BE SUBJECT TO FREEZING.



ENLARGED MECHANICAL ROOM #113 PLAN
SCALE: 1/2"=1'-0"



INCOMING F.P. MAIN WATER SUPPLY
SCALE: 1/2"=1'-0"

RED HAWK APARTMENTS
N. Parkview Drive & Blanche Drive
Milton, WI 53563

BWC BLANK, WESSELINK, COOK & ASSOCIATES, INC.
ENGINEERS • CONSULTANTS
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DIVISION 6. - PLANNED UNIT DEVELOPMENT DISTRICT (PUD)

Sec. 78-461. - Defined.

A planned unit development (PUD) is a type of land development project constructed as a single entity in which the mix of uses, dimensional standards, provision of open space, and/or other unique aspects of the project do not match one or more of the normal requirements of this chapter. In addition, PUDs:

- (1) Satisfy the general intent of this chapter and advance the city's comprehensive plan.
- (2) Require rezoning to a PUD zoning district, which allows differing development standards for each proposed PUD project.
- (3) Demonstrate a high level of site planning and development quality before city approvals for such projects are granted.

(Code 1968, § 9.33(1); Ord. No. 237, 4-10-2006)

Cross reference— Definitions generally, § 1-2.

Sec. 78-462. - Purpose and intent.

The PUD is a separate zoning district within the city. It is established in this chapter to provide a regulatory framework designed to encourage and promote improved environmental design by allowing for greater freedom, imagination and flexibility in the development of land while insuring substantial compliance to the basic intent of this chapter and the comprehensive plan. To this intent it allows diversification and variation in the relationship of uses, structures, open spaces and heights of structures in developments conceived and implemented as comprehensive and cohesive unified projects. It is further intended to encourage more rational and economic development with relation to public service and to encourage and facilitate preservation of open land.

(Code 1968, § 9.33(2))

Sec. 78-463. - Requirements.

- (a) In the PUD district the requirements of this chapter may be relaxed at the discretion of the plan commission and common council in exchange for excellence in building, site and landscaping design which generally exceeds base ordinance standards.
- (b) A minimum of five acres of land shall be developed as a unit within each PUD project, except that PUD projects are allowed on smaller sites if they are adjacent to developed land for at least 75 percent of the site perimeter. The intent of this exception is to allow for creative redevelopment or infill development of smaller sites that are in mainly developed areas in need of reinvestment, including but not limited to a downtown area.
- (c) The specific land use mix, dimensional, and other standards applicable to the particular PUD shall be specified in the application materials and/or city conditions of PUD approval, and shall be enforced as if they were part of this chapter.

(Code 1968, § 9.33(3); Ord. No. 237, 4-10-2006)

Sec. 78-464. - Off-street parking.

In the PUD district, off-street parking requirements included in division 3, article IV of this chapter may be relaxed at the discretion of the plan commission and the common council. Such requirements as are made a part of an approved recorded specific implementation plan shall be, along with the recorded plan itself, construed to be and enforced as a part of this chapter.

(Code 1968, § 9.33(4))

Sec. 78-465. - Criteria for approval.

As a basis for determining the acceptability of a planned unit development application, the following criteria shall be applied to the precise development plan for such district with specific consideration as to whether or not it is consistent with the spirit and intent of this chapter, has been prepared with competent professional advice and guidance, and produces significant benefits in terms of environmental design:

- (1) *Character and intensity of land use.* In a planned unit development, the uses proposed and their intensity and arrangement on the site shall be a visual and operational character which:
 - a. Are compatible with the physical nature of the site with particular concern for preservation of natural features, tree growth and open space.
 - b. Would produce an attractive environment of sustained aesthetic and ecological desirability, economic stability and functional practicality compatible with the general development plans for the area as established by the community.
 - c. Would not adversely affect the anticipated provision for school or other municipal services.
 - d. Would not create a traffic or parking demand incompatible with the existing or proposed facilities to serve it.
- (2) *Economic feasibility and impact.* The proponents of a planned unit development application shall provide evidence satisfactory to the plan commission of its economic feasibility, of available adequate financing and that it would not adversely affect the economic prosperity of the community or the values of surrounding properties.
- (3) *Engineering design standards.* The width of street right-of-way, width and location of street or other paving, outdoor lighting, location of sewer and water lines, provision for stormwater drainage or similar environmental engineering consideration shall be based upon determination as to the appropriate standards necessary to implement the specific function in the specific situation; provided, however, that in no case shall standards be less than those necessary to ensure the public safety and welfare as determined by the plan commission.
- (4) *Preservation and maintenance of open space.* In a planned community development area, adequate provision shall be made for the permanent preservation and maintenance of common open space either by private reservation or dedication of private land.
 - a. In the case of private reservation, the open area to be reserved shall be protected against building development by conveying to the public as part of the conditions for project approval an open space easement over such open areas restricting the area against any future building or use except as is consistent with that of providing landscaped open space for the aesthetic and recreational benefit of the development. Buildings or uses for limited commercial, recreational or cultural purposes compatible with the open space objective may be permitted only where specifically authorized as part of the development plan or subsequently, with the express approval of the common council following approval of building site and operational plans by the plan commission.
 - b. The care and maintenance of such open space reservation shall be ensured by establishment of an appropriate management organization for the project. The manner of ensuring maintenance and assessing such cost to individual properties shall be included in any contractual agreement and shall be included in the title to each property.

- c. Ownership and tax liability of private open space reservation shall be established and made a part of the conditions of the plan approval.
- (5) *Implementation schedule.* The applicants for a planned unit development district shall submit a reasonable schedule for the implementation of the development to the satisfaction of the plan commission including suitable provisions for assurance that each phase could be brought to completion in a manner which would not result in adverse effect upon the community as a result of termination at that point.

(Code 1968, § 9.33(5))

Sec. 78-466. - Procedure.

The procedure for obtaining a PUD shall be as required for any other zoning map amendment (rezoning) under this chapter, except that in addition thereto, the rezoning to the PUD district may only be considered in conjunction with the required general development plan, when consistent with the comprehensive plan, and shall be subject to the following additional requirements:

- (1) *General development plan.* The applicant shall file with the building inspector and the plan commission a general development plan which shall include the following information:
 - a. A statement describing the general character of the intended development.
 - b. An accurate map of the project area including its relationship to surrounding properties and existing topography and key features using two-foot contour intervals.
 - c. A plan of the proposed project showing at least the following information in sufficient detail to make possible the evaluation of the criteria for approval as set forth in division 2, article II of this chapter:
 - 1. The pattern of proposed land use including shape, size and arrangement of proposed use areas, density and environmental character.
 - 2. The pattern of public and private streets.
 - 3. The location, size and character of recreational and open space areas reserved or dedicated for public uses such as schools, parks, greenways, etc.
 - 4. A utility feasibility study.
 - d. Appropriate statistical data on the size of the development, ratio of various land uses, percentages of multifamily units by number of bedrooms, economic analysis of the development, expected staging, and any other plans or data pertinent to evaluation by the community under the criteria of this division.
 - e. General outline of intended organizational structure related to property owner's association, deed restrictions and private provision of common services.

(Code 1968, § 9.33(6); Ord. No. 310, § 15, 7-6-2010)

Sec. 78-467. - Referral and hearing.

- (a) Within 60 days after completion of the filing of the petition for approval of a preliminary proposal, the plan commission shall schedule the required public hearing.
- (b) Following the public hearing, the plan commission shall recommend approval, approval with conditions, or denial of the general development plan to the common council. The common council shall then take action to approve or deny the proposed rezoning to the PUD district and general development plan. Approval of the rezoning to PUD and associated general development plan shall establish the basic right of use for the area in conformity with the plan as approved, which shall be

recorded as an integral component of the district regulations, but such plan shall be conditioned upon approval of a specific implementation plan, and shall not make permissible any of the uses as proposed until a specific implementation plan is submitted and approved for all or a portion of the general development plan area. If the approved general development plan submittal is sufficiently detailed to also meet the requirements for a specific implementation plan, a separate approval process for a specific implementation plan shall not be required.

(Code 1968, § 9.33(7))

Sec. 78-468. - Specific implementation plan.

A specific and detailed plan for implementation of all or part of a proposed planned unit development must be submitted within one year after receiving general development plan approval from the common council. If a specific implementation plan has not been submitted within such time, the previously approved general development plan shall be considered null and void, and a new petition and approval process shall be required to obtain approval of the same or a revised general development plan. The specific implementation plan shall be submitted to the plan commission, shall be consistent with the comprehensive plan and shall include the following detailed construction and engineering plans and related detailed documents and schedules:

- (1) An accurate map of the area (at a scale of one inch equals 100 feet) covered by the plan including the relationship to the total general development plan.
- (2) The pattern of public and private roads, driveways, walkways and parking facilities.
- (3) Detailed lot layout and subdivision plat where required.
- (4) The arrangement of building groups, other than single-family residences, and their architectural character.
- (5) Sanitary sewer and water mains.
- (6) Grading plan and storm drainage system.
- (7) The location and treatment of open space areas and recreational or other special amenities.
- (8) The location and description of any areas to be dedicated to the public.
- (9) General landscape treatment.
- (10) Proof of financing capability.
- (11) Analysis of economic impact upon the community.
- (12) A development schedule indicating:
 - a. The approximate date when construction of the project can be expected to begin;
 - b. The stages in which the project will be built and the approximate date when construction of each stage can be expected to begin;
 - c. The anticipated rate of development;
 - d. The approximate date when the development of each of the stages will be completed; and
 - e. The area and location of common open space that will be provided at each stage.
- (13) Agreements, bylaws, provisions or covenants which govern the organizational structure, use, maintenance and continued protection of the planned community development and any of its common services, common open areas or other facilities.
- (14) A detailed signage plan meeting the requirements of section 78-1703.
- (15) Any other plans, documents or schedules by the commission, including but not limited to materials required for site plan review under subsection 78-271(2) of this chapter.

(Code 1968, § 9.33(8); Ord. No. 237, 4-10-2006; Ord. No. 310, § 16, 7-6-2010)

Sec. 78-469. - Approval of the specific implementation plan.

- (a) Following submittal of the specific implementation plan, the plan commission shall review the submittal.
- (b) Following its review, the plan commission may approve the specific implementation plan as submitted, approve it with modifications, or disapprove it with reasons stated. If approved with modifications, the petitioner shall prepare and submit all required modifications to plans before building permits are issued.
- (c) In the event of approval of the specific implementation plan, the building, site and operational plans for the development, as approved, as well as all other commitments and contractual agreements with regard to project value, character and other factors pertinent to an assurance that the proposed development will be carried out basically as presented in the official submittal plans, shall be recorded by the developer within a reasonable period of time. This shall be accomplished prior to the issuance of any building permit.
- (d) Any subsequent change or addition to the plans or use shall first be submitted for approval to the plan commission and if, in the opinion of the plan commission, such change or addition constitutes a substantial alteration of the original plan, the procedure provided in section 78-468, and in this section shall be required.

(Code 1968, § 9.33(9))

Secs. 78-470—78-490. - Reserved.

Office of the Administrative Services Director

To: Mayor Welch, Milton Plan Commission
From: Inga Cushman, Administrative Services Director
Date: October 20, 2020
Subject: Discussion and possible action on the Comprehensive Outdoor Recreation Plan (CORP)

Summary

The Parks & Recreation Commission has been working over the past several months to develop the Comprehensive Outdoor Recreation Plan (CORP). In order to qualify for federal and state grants through the Wisconsin Department of Natural Resources, a CORP is required. It is also required the plan be updated every five years in order to maintain eligibility for the grants.

The Parks & Recreation Commission solicited community input through a Needs Assessment Survey and held a Public Input Meeting. Feedback from the Parks & Recreation Commission and the community is reflected in the plan. The plan outlines expected projects to be completed between 2020 and 2024.

The Parks & Recreation Commission will review the plan for a final time at their meeting on October 19, 2020 at 6 p.m. Staff will convey any changes and their recommendation at the Plan Commission meeting.

Recommendation

To recommend approval of the 2020-2024 Comprehensive Outdoor Recreation Plan to the Common Council.

Attachments

- DRAFT 2020-2024 CORP



2020 – 2024 Comprehensive Outdoor Recreation Plan



City of Milton, Wisconsin

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Milton, WI 53563

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City of Milton, Wisconsin

CITY OF MILTON

COMPREHENSIVE OUTDOOR RECREATION PLAN

2020 - 2024

Prepared for Adoption by:
Parks & Recreation Commission
Plan Commission
Common Council

Parks & Recreation Commission	Plan Commission	Common Council	City Staff
Ryan Peterson <i>Commission Chair</i>	Anissa Welch <i>Mayor / Chairperson</i>	Anissa Welch <i>Mayor</i>	Al Hulick <i>City Administrator</i>
Howard Robinson <i>Ex-Officio</i>	Al Hulick <i>Administrator, Ex-Officio</i>	Lynda Clark <i>Aldersperson</i>	Inga Cushman <i>Administrative Services Director</i>
David Fisher <i>The Gathering Place Director, Virtue of Office</i>	Howard Robinson <i>Director of Public Works, Virtue of Office</i>	Devin Elliot <i>Aldersperson</i>	Howard Robinson <i>Director of Public Works</i>
Devin Elliott <i>Aldersperson, Commissioner</i>	Larry Laehn <i>Aldersperson, Commissioner</i>	Ryan Holbrook <i>Aldersperson</i>	Mark Langer <i>City Engineer</i>
James Bostwick <i>Commissioner</i>	Frank Green <i>Commissioner</i>	Larry Laehn <i>Aldersperson</i>	Dan Nelson <i>Finance Director / Treasurer</i>
Andrea Christianson <i>Commissioner</i>	Ethel Himmel <i>Commissioner</i>	Theresa Rusch <i>Aldersperson</i>	Scott Marquardt <i>Police Chief</i>
Lee Ann Hare <i>Commissioner</i>	David Ostrowski <i>Commissioner</i>	Bill Wilson <i>Aldersperson</i>	Ashlee Kunkel <i>Library Director</i>
Karen Reed <i>Commissioner</i>	Bob Seales <i>Commissioner</i>	Theresa Rusch <i>Aldersperson</i>	Leanne Schroeder <i>City Clerk</i>
Annette Smith <i>Commissioner</i>			
David Snow <i>Commissioner</i>			
Ty Knudsen <i>Milton High School Rep.</i>			

Place for copy of the adopted resolution or minutes approving the comprehensive outdoor recreation plan.

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Section 1: Introduction

The City of Milton recognizes the parks and recreation facilities in the City are key components to providing our residents with a high quality of life and attracting new residents and businesses to our community. Parks assist in promoting healthy lifestyles and improving the aesthetic appeal of a community. In addition, parks also contribute to increasing property values, attracting tourists, and protecting various natural elements in a community. Recreation offers an outlet for a person's physical, mental, and creative powers.

As such, the City of Milton has received several awards in recognition for its hard work regarding its parks. In 2013, the City of Milton was designated as a Playful City USA. In addition, the City was designated as a Tree City USA community beginning in 2016 and became an Ice Age Trail Community in 2017. The City continues to work to improve its parks and recreation facilities.

The City of Milton Parks & Recreation Commission began drafting the 2020 - 2024 Comprehensive Outdoor Recreation Plan (CORP) in March 2020. Through the development of this plan, the City established recommendations to make the park system in Milton even better for users now and in the future. The CORP will guide the development of parks for the next five years, and the plan will enable the City to apply for grant funding from the State of Wisconsin Department of Natural Resources (WDNR) and other sources that require an up-to-date and approved CORP.

The Plan, as designed:

- Evaluates the City's existing parks and provides recommendations for park improvements.
- Identifies appropriate level of service standards for park lands and recreation facilities.
- Identifies and recommends active and passive outdoor recreational opportunities to address the needs of all community members now and in the future.
- Provides the City with a period of eligibility for cost sharing and matching grant assistance through Federal and State grant programs administered by the WDNR.
- Provides a cost summary for all recommendations to assist the City with its Capital Improvement Planning (CIP) efforts.

The plan must be updated every five years to ensure that it reflects the current needs of the community and retains its WDNR certification.

Section 2: Mission, Goals, Objectives, & Policies

2.1 Mission

The mission of the CORP as developed by the Parks & Recreation Commission is as follows:

The mission of the Comprehensive Outdoor Recreation Plan (CORP) is to guide the decisions on park improvement, development, and acquisition, and the collaboration with other entities on and creation of recreation opportunities for the City of Milton's community members. The plan also serves as the City of Milton's CORP for grant purposes.

2.2 Goals, Objectives, & Policies

The Goals, Objectives, and Policies listed below were taken from Chapter 5: Utilities and Community Facilities of the City of Milton Comprehensive Plan adopted on October 6, 2015.

Goals

Maintain the City's high quality of life through access to a wide range of sustainable public services and facilities, coordinating with future land development plans.

Objectives

1. Implement and update the City's Comprehensive Outdoor Recreation Plan.
2. Preserve attractive areas for eventual park or recreational purposes.
3. Provide parks within walking distance of all new residential areas.
4. Emphasize family-oriented and passive recreation facilities within City parks.
5. Coordinate with other area partners on the joint provision of recreational facilities and services to Milton residents, where feasible and appropriate.
6. Encourage expansion of Rock County parks and recreational facilities in the Milton area.

Policies

1. Follow the recommendations of the City of Milton Comprehensive Outdoor Recreation Plan when making park acquisition and development decisions. Update that plan as appropriate to reflect ideas put forth in the City of Milton's Comprehensive Plan.
2. Support the design and development of a regional bicycle and pedestrian trail system within Milton and connecting Milton to Janesville, Jefferson County, and the Ice Age Trail.
3. Use a combination of public park lands; private recreational space; site, neighborhood, and transportation corridor planning; and regulations to achieve permanent community separation between Milton and Janesville.

4. Encourage development of additional County park lands and facilities within the Milton area, particularly southwest of the City to support community separation objectives.
5. Design all parks with multiple access points from surrounding neighborhoods.
6. Coordinate acquisition of park and open space lands with urban growth and development to provide for reasonable acquisition costs and facilitate site planning.
7. Acquire neighborhood parks in developing areas through park land dedication requirements, or through use of fees-in-lieu of dedication.
8. Design park facilities to meet the needs of all residents of the City including special groups such as the elderly, the disabled, and pre-school age children.
9. Work with the School District of Milton, neighboring jurisdictions, YMCA, and Rock County to provide joint park and recreational services and facilities, where feasible and appropriate.
10. Emphasize the development of more family and passive recreational facilities within Milton parks, such as trails, gardens, natural areas, picnicking areas, shelters, wading pools, and sledding hills.

Section 3: Planning Process

The City of Milton previously had a Comprehensive Outdoor Recreation Plan (CORP) that covered 2001 to 2005. An updated plan was drafted for 2006 to 2010, but the plan was never approved by the Parks & Recreation Commission, Plan Commission, or Common Council. While developing the 2020 - 2024 Comprehensive Outdoor Recreation Plan, staff and the Parks & Recreation Commission primarily referred to the 2001 to 2005 plan.

Amendments to the plan will be welcomed after the plan is officially approved. The process for amendments will be as follows:

1. The Parks & Recreation Commission or staff identifies an item that is not accounted for in the CORP. The information may be obtained from community members.
2. Staff develops an amendment to the plan that provides a discussion of the needs, an outline of the proposed uses, and potential cost estimates.
3. Consideration of the amendment by the Parks & Recreation Commission. The Parks & Recreation Commission will then recommend approval or denial to the Plan Commission.
4. The Plan Commission will review the amendment, and then recommend approval or denial to the Common Council.
5. Approval or denial of the amendment by the Common Council.

Approval of the plan underwent the same type of scrutiny:

1. The Parks & Recreation Commission was the primary driver in the development of the plan.
2. The Plan Commission reviewed the plan and recommended approval to the Common Council.
3. The Common Council reviewed and approved the plan.

Below is a list of the steps that the 2020 - 2024 Comprehensive Outdoor Recreation Plan went through before it was officially approved on October 20, 2020 by the Common Council.

Event	Date
Parks & Recreation Commission Meeting <i>The Commission reviewed the project charter and work plan.</i>	March 9, 2020
Parks & Recreation Commission Meeting <i>Discussed changes to the schedule to complete the CORP due to the COVID-19 pandemic.</i>	April 20, 2020
Parks & Recreation Commission Meeting <i>The commission reviewed Sections 1 and 2 of the draft CORP.</i>	May 18, 2020

CVMIC Playground Inspection

Staff from Cities & Villages Mutual Insurance Company (CVMIC), the City's liability insurance company, completed playground inspections at all of the parks.

May 19, 2020

Inventory City of Milton

Staff went to each park to confirm the park inventory and check conditions of the facilities and equipment. Pictures were also taken of each park and facility.

August / September 2020

Parks & Recreation Commission Meeting

The commission reviewed additional sections of the draft CORP.

June 15, 2020

Public Input Meeting

The meeting was held to provide community members with an opportunity to speak about improvements they want to see at the parks in Milton.

September 10, 2020

Park Assessment Survey

The survey was an opportunity for community members to provide input and feedback on the park system.

Distribute:
August 19, 2020
Response Deadline:
September 14, 2020
Feedback Provided to Commission:
September 18, 2020

Parks & Recreation Commission Meeting

The commission discussed the feedback received from the community related to the park system. The Parks & Recreation Commission also provided additional input.

September 21, 2020

Distribution of draft CORP to Parks & Recreation Commission

The Commission received a draft 2020 – 2024 Comprehensive Outdoor Recreation Plan to review. The Commission submitted comments to staff for changes or additions.

September 24, 2020

Parks & Recreation Commission Meeting

Reviewed the draft plan and made recommendations for changes to the CORP.

October 5, 2020

Parks & Recreation Commission Meeting

Reviewed the final draft plan and made recommendations for changes to the CORP.

October 12, 2020

Parks & Recreation Commission Meeting

Provided direction to staff on any changes to the draft CORP.

October 19, 2020

Final opportunity for the Parks & Recreation Commission to provide comments.

Recommended approval of the CORP to the Plan Commission and Common Council.

Plan Commission Meeting

The Plan Commission reviewed the plan and forwarded a positive recommendation to the Common Council.

October 20, 2020

Common Council Meeting

The Common Council reviewed and approved the Comprehensive Outdoor Recreation Plan.

October 20, 2020

During the planning process the following past and present plans for the City of Milton, Rock County, and the State of Wisconsin were reviewed:

City of Milton Plans

- City of Milton Comprehensive Outdoor Recreation Plan Update 2001 – 2005
- DRAFT City of Milton Comprehensive Outdoor Recreation Plan Update 2006 – 2010
- City of Milton Comprehensive Master Plan 2015 (hereinafter referred to as Comprehensive Plan)

Regional and Rock County Plans

- 2020-2025: Rock County Parks, Outdoor Recreation, & Open Space Plan

State Plans

- Wisconsin Statewide Comprehensive Outdoor Recreation Plan 2019 – 2023 (SCORP)

Section 4: Community Profile

The City of Milton is located in Rock County, northeast of the City of Janesville. The City is bordered primarily by the Town of Milton, but the southernmost point is bordered by the Town of Harmony. The City of Milton covers approximately 4.28 square miles with a 2020 estimated population of 5,585, according to the State of Wisconsin Department of Administration (DOA).

4.1 Physical Environment

The physical environment of Milton is detailed below. Please refer to Map 4: Natural Features from the Comprehensive Plan (included in Section 9). It shows the Ecologically Significant Land in and around Milton, in addition to watershed boundary, wooded areas, wetlands, FEMA preliminary floodplain, state parks and wildlife areas, groundwater recharge protection areas, and slopes of 12-20 percent and greater than 20 percent.

Topography

The City's Comprehensive Plan states:

“The planning area is marked by “hill and kettle” topography. Upland areas of varying relief were formed by glacial sand and gravel deposits, while the depressional kettles were likely formed when chunks of ice broke off the retreating glacier. This unique topography presents both attractive landscapes and challenges for development, particularly in regard to drainage and stormwater management.

“The planning area includes a relatively flat band of land varying from 806 to 880 feet in elevation running east, west, and southwest through the central portion of the City. This area is flanked on the north and south by ridges, which reach elevations of 950 feet. Lower areas to the east and west of the City include glacial lakes.” (pg. 35)

Water Resources

The City's Comprehensive Plan states:

“Surface waters in the planning area include five shallow, freshwater lakes. Storrs Lake and Bowers Lake to the east are included in the State of Wisconsin Storrs Lake Wildlife Area. Mud Lake, Clear Lake, and Grass Lake are to the northwest of the City. Both sets of lakes, along with their associated wetland complexes and steep slopes, present definite natural barriers for urban development. These lakes provide wildlife habitat and opportunities for hunting, fishing, and passive recreation. There are no streams or rivers in the planning area.” (pg. 36)

Mud Lake is partially located in the City Limits, and the City maintains a parking lot there and provides picnic tables at the lake. There is also a walking trail at Mud Lake. Lake Koshkonong, the 7th largest inland lake in Wisconsin is also located near Milton. Refer to Section 9 for a map showing the major bodies of water in the Milton region.

Climate

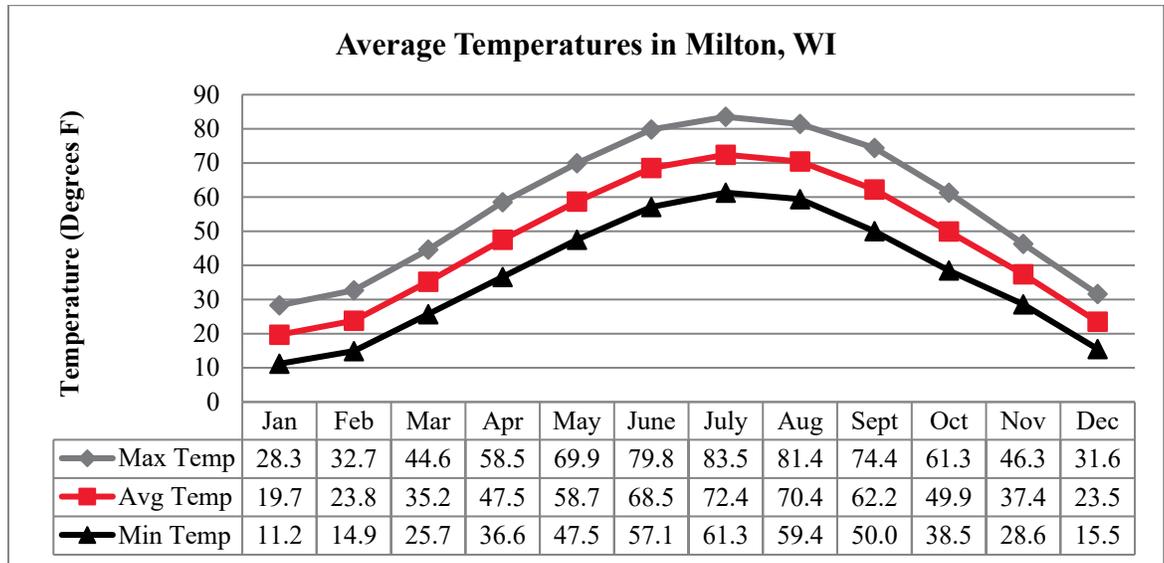
Wisconsin in general has four distinct seasons:

- Spring – March, April, and May
- Summer – June, July, and August
- Autumn or Fall – September, October, and November
- Winter – December, January, and February

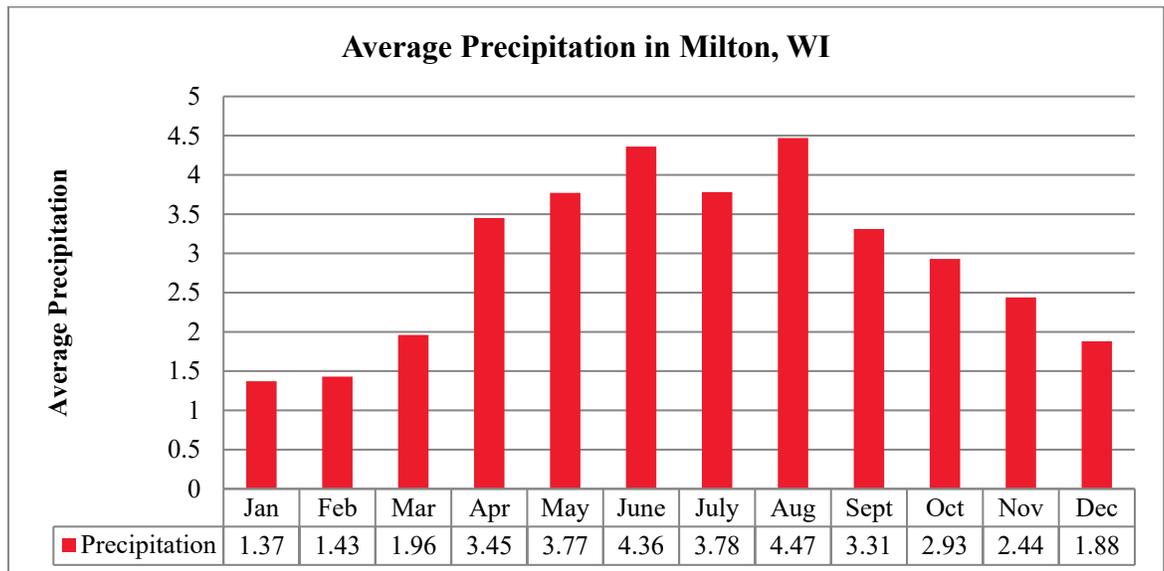
Each season presents different recreational opportunities for community members and visitors.

According to the National Oceanic and Atmospheric Administration (NOAA), typically July is the warmest month of the year and January is the coldest month. August, followed closely by June, is typically the month that has the most precipitation.

Below are graphs showing the average temperatures and precipitation in Milton.



Source: <http://www.ncdc.noaa.gov/cdo-web/datatools/normals> (Afton, WI)



Source: <http://www.ncdc.noaa.gov/cdo-web/datatools/normals> (Afton, WI)

Soils

The Comprehensive Plan states:

“The soils in the planning area are of three major types:

- “The *Plano-Warsaw-Dresden* association covers much of the eastern portion of the planning area. This association is characterized by deep, generally well drained soils with a clay loam subsoil over sand and gravel. When undeveloped, these soils are very productive for agriculture. The substratum for these soils is very porous, resulting in the potential for groundwater contamination from standard septic systems.
- “The *Kidder-St. Charles* association covers areas both south and north of the Plano-Warsaw-Dresden association. This association is characterized by deep, generally well drained soils with a clay loam subsoil over sandy loam glacial till. Where level, these soils are very productive for agriculture and have few limitations for septic systems. Where on steep slopes, these soils are susceptible to erosion and are generally wooded.
- “The *Dresden-St. Charles-Warsaw* association covers the western and northwestern sections of the planning area. This association is characterized by generally deep, generally well drained soils with a clay loam subsoil over sand and gravel. Where level, these soils are good for agricultural production. Where steep, they are generally wooded. The substratum for these soils is very porous, resulting in the potential for groundwater contamination from standard septic systems.” (pages 37-38)

The Comprehensive Plan also indicates that “there are few soils in the City with severe engineering limitations” (pg. 38). Most of the areas that do present any limitations are zoned conservancy.

Flora and Fauna

In general, Milton has few wooded areas as much of it was cleared for farming and housing developments. The area when it was founded was primarily prairie. The City of Milton regularly uses prairie seed from Crossridge Park and other prairies in the area to seed locations for beautification and to reduce mowing costs. Residents can see prairie vegetation seeded along State Highway 59 where the overpass hills are steep and around the retention ponds in the same area. The Parks & Recreation Commission received permission from the state to plant prairie seed along the Glacial River Trail, which was completed with the State Highway 26 bypass in 2013. The regional wetlands provide habitat for unique plants and animals.

The Comprehensive Plan states the following:

“WDNR’s Natural Heritage Inventory program maintains data on the general location and status of threatened or endangered plant and animal species and natural communities of special concern. There are occurrences of aquatic endangered species in the northeast portion of the City. There are

also occurrences of terrestrial endangered species in the southwest portion of the City. More specific information on location and type of species is available from the State’s Bureau of Endangered Resources.” (pg. 38)

Transportation Systems

The City of Milton is served primarily by State Highway 26 and 59. The State Highway 26 Bypass was completed in 2013. Approximately 14,000 cars travelled on State Highway 26 on a daily basis when it went through Milton. The State of Wisconsin Traffic Count Map currently shows the Annual Average Daily Traffic (AADT) at about 18,000 on the State Highway 26 bypass. State Highway 59 still runs through Milton, and has an AADT of about 5,000. The City is also serviced by the Wisconsin & Southern Railroad. The rail line runs from west to east, and it essentially splits the city in half. The City is located approximately five minutes from Interstate 39/90 access in Janesville, WI.

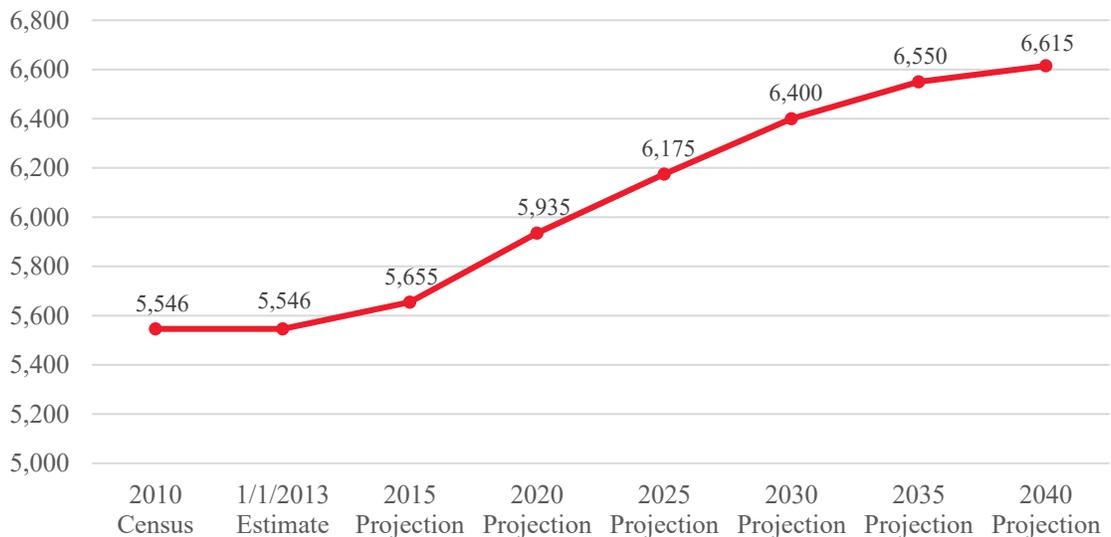
4.2 Social Characteristics

Population

In 1980, the City of Milton’s population was 4,092 according to the United States Census Bureau. The 2010 United States Census determined that the population of the City of Milton to be 5,546, a 35 percent increase in population over a 30 year period. The 2013-2017 American Community Survey 5-Year Estimates from the United States Census Bureau showed the estimated population of the City of Milton was at 5,566.

In 2020, the State of Wisconsin Department of Administration (DOA) estimated the City’s population to be 5,585. The DOA also shows the following chart for 2010 – 2040 population projections for the City of Milton on their website.

DOA 2010 - 2040 Population Projections
City of Milton, WI



The Comprehensive Plan outlines three population projection scenarios. The scenarios show by 2040, the City of Milton’s population will be between 5,834 and 7,517. Below are the results of those scenarios.

	2015	2020	2025	2030	2035	2040
DOA Population Projection	5,655	5,935	6,175	6,400	6,550	6,615
30-Year Straight Line Projection	5,594	5,642	5,690	5,738	5,786	5,834
30-Year Compounded Projection	5,834	6,138	6,457	6,792	7,145	7,517

The Comprehensive Plan uses the third method, 30-Year Compounded Projection, for housing and land use demand projections to ensure enough land will be allocated.

The 2020 Census will be completed at the end of 2020, and will provide clarity on the current population of the City of Milton.

Demographic Trends

The following page show a variety of demographic data about the City of Milton. The data does not show any significant changes in the demographics of Milton between the 2010 Census and the 2013-2017 American Community Survey. The population of Milton is aging, which is the same nationally as the Baby Boomer generation ages. Approximately 14% of the population of the City of Milton has a disability with a majority in the 18-64 year old range. The Owner Occupied Unit Median Value has decreased; however, the City Assessor reports the current average assessed home value is \$151,960. The Median Gross Rent increased by \$62.

The following pages also shows the unemployment rate over the course of 2018, 2019, and just over half of 2020. The unemployment rates over the course of 2018 and 2019 are shown to have been fairly steady with an average rate of 3.36, a high of 4.1, and a low of 2.5. However, with the COVID-19 global pandemic, the unemployment rate peaked at 15.8 in April 2020. The unemployment rate has been falling since then in 2020, and we are hoping for continued stabilization in the job market.

	2010 Census	2013-2017 American Community Survey
Male	49%	53%
Female	51%	47%
Under 5 years	354	373
5 to 9 years	423	338
10 to 14 years	417	424
15 to 19 years	386	307
20 to 24 years	312	389
25 to 34 years	807	733
35 to 44 years	762	828
45 to 54 years	775	594
55 to 59 years	329	422
60 to 64 years	290	256
65 to 74 years	330	608
75 to 84 years	257	170
85 years and over	104	124
Median Age	35.8	37.4
White	96%	95.9%
Black or African American	0.5%	1.9%
American Indian or Alaska Native	0.2%	0%
Asian	1%	0%
Native Hawaiian or Other Pacific Islander	0%	0%
Some Other Race	1.1%	0.5%
Two or More Races	1.1%	1.7%
Hispanic or Latino (of any race)	2.4%	3.6%
Not Hispanic or Latino	97.6%	96.4%
Housing Units	2,382	2,360
Occupied Units	2,231	2,322
% Owner Occupied	66%	65%
% Rental Occupied	34%	35%
Owner-Occupied Unit Median Value	\$143,700	\$136,000
Median Gross Rent	\$752	\$814
Households	2,231	2,322
Average Household Size	2.48	2.39
Family Households (Families)	1,499	1,423
Average Family Size	2.98	3.02
Total Civilian Noninstitutionalized Pop.	5,515	5,557
With a Disability	659*	801
Under 18 years old	1,430*	1,378
With a Disability	58*	69
18 to 64 years old	3,415*	3,286
With a Disability	410*	369
65 years and over	670*	893
With a Disability	191*	363

*2009-2013 American Community Survey 5-Year Estimates

Rock County Local Area Unemployment Statistics (LAUS) Query Results

Year	Period	Labor Force	Employment	Unemployment	Unemployment Rate
2020	July	84,265	77,341	6,924	8.2
2020	June	84,555	76,223	8,332	9.9
2020	May	84,030	72,397	11,633	13.8
2020	April	85,026	71,565	13,461	15.8
2020	March	84,583	81,348	3,235	3.8
2020	February	85,480	81,528	3,952	4.6
2020	January	85,466	81,042	4,424	5.2
2019	December	84,511	81,527	2,984	3.5
2019	November	85,334	82,325	3,009	3.5
2019	October	84,938	82,178	2,760	3.2
2019	September	85,040	82,162	2,878	3.4
2019	August	86,236	82,804	3,432	4
2019	July	87,131	83,646	3,485	4
2019	June	86,443	82,849	3,594	4.2
2019	May	84,832	81,881	2,951	3.5
2019	April	84,888	82,052	2,836	3.3
2019	March	85,227	81,703	3,524	4.1
2019	February	84,948	81,459	3,489	4.1
2019	January	84,426	81,176	3,250	3.8
2018	December	83,831	81,435	2,396	2.9
2018	November	84,796	81,988	2,808	3.3
2018	October	84,091	81,949	2,142	2.5
2018	September	84,372	82,183	2,189	2.6
2018	August	85,696	83,041	2,655	3.1
2018	July	87,148	84,289	2,859	3.3
2018	June	86,119	82,921	3,198	3.7
2018	May	84,595	82,117	2,478	2.9
2018	April	84,788	82,207	2,581	3
2018	March	85,069	81,794	3,275	3.8
2018	February	85,019	81,581	3,438	4
2018	January	84,079	81,059	3,020	3.6
2020	July	84,265	77,341	6,924	8.2

*Wisconsin Department of Workforce Development
 Bureau of Workforce Training - Labor Market Information
 Query Results - Created on September 18, 2020
<http://WORKnet.Wisconsin.gov>*

4.3 Land Uses

Prior to determining the needs of the community, it is important to understand the current land uses and anticipated future land uses and growth as outlined in the Comprehensive Plan. This allows for better analysis of the needs of the community now and in the future.

Existing Land Uses

The City's land uses as described in the Comprehensive Plan vary between residential, commercial, industrial, and other uses. Single family housing units is the primary housing type in the City of Milton. Roughly 70% of all housing units are single-family residential development. Below is a table from the comprehensive plan that shows the existing land uses in 2015.

Existing Land Use Summary: City of Milton, 2015

Land Use	Acres	Percent of Total
Agriculture / Rural	706	25.2
Residential - Exurban	2	0.1
Residential – Single Family Urban	666	23.8
Residential – Two Family / Townhouse	18	0.7
Residential – Multi-Family	53	1.9
Neighborhood Business / Office	7	0.2
General Business	61	2.2
Downtown	6	0.2
Industrial	302	10.8
Community Facilities / Institutional	221	7.9
Parks and Open Space	240	8.6
Public Natural Areas	13	0.5
Surface Water	11	0.4
Vacant / Undeveloped	85	3.0
Right-of-way	409	14.6
Total	2,801	100

Source: 2015 City of Milton Comprehensive Plan, page 65

Future Land Uses & Growth

In Chapter 3: Land Use of the Comprehensive Plan, Parks and Open Space is listed as a category for future land use and provides policies and programs related to the development of parks and open space in the community on page 89:

- “Review the subdivision ordinance to ensure that new residential development dedicates an adequate amount of land or pays appropriate fees for public park and recreation activities. The City may also adopt an impact fee ordinance for the collection of fees-in-lieu of such facilities so that development not requiring a land division still pays a fee.”
- “Ensure that all land use decisions take into consideration the recommendations included in the Utilities and Community Facilities chapter of this Plan.”
- “Design future planned neighborhoods around and with access to environmental corridors and Public Parks without negatively affecting the environmental health of these areas.”

Additional details on these bullet points above was provided in Chapter 5 of the Comprehensive Plan and in Section 2: Mission, Goals, Objectives, & Policies of this plan.

The City of Milton has been experiencing an increase in growth over the last few years in both industrial and residential development. The Red Hawk Farms Subdivision in the southern area of the City has produced 44 homes since 2018 with five left to finish at the writing of this plan. The approved Red Hawk Apartments on the City’s south side is expected to commence construction on 108 apartments in three buildings. There is also a planned smaller subdivision on N. Janesville Street on the City’s north east side.

On the industrial side, the City has seen the construction of new facilities for Diamond Assets and SSI Technologies in the Crossroads Business Park. A variety of existing industrial facilities also expanded, such as Handy Art and Charter NEX. In addition, Kwik Trip, Badger State Maintenance, and Gateway Properties were built as commercial properties in the Crossroads Business Park.

Depending on how the economy is effected by the COVID-19 pandemic, the City expects continued residential, industrial, and commercial development in the areas described above.

Included in Section 9 of this plan are Maps 6a and 6b from the Comprehensive Plan showing future land use.

Section 5: Park Classification System, Park Standards, and Review of Regional and Statewide Plans

5.1 Park Classification System

The following park types and minimum standards represent the basic elements of a municipal park and outdoor recreation system. The standards help determine the ability of the existing facilities to quantitatively meet the demand of residents now and in the future. When evaluating the parks, it is important to take into consideration the local demand and the historic expectation for recreational resources. The following park types and minimum standards are adapted from the classifications outlined in the Wisconsin Statewide Comprehensive Outdoor Recreation Plan 2011 – 2016.

Mini-Parks

- **General Description** – A play lot or playground providing space for parental supervised recreation of toddlers and young children within a neighborhood or urban center, including retail shopping areas. In Milton, play lots are generally designed exclusively for pre-school age children.
- **Service Area** – Less than ¼ mile in residential districts
- **Size Objectives** – 1 acre or less
- **Location Objectives** – Locate in protected areas with separation from street traffic and high visibility.
- **Potential Amenities** –
 - Sand play areas
 - Play apparatus
 - Play equipment
 - Other special child-oriented features
 - Drinking fountain
 - Benches arranged for parents to supervise children

Neighborhood Park

- **General Description** – A neighborhood park, by size, program, and location, provides space and recreation activities for the immediate neighborhood in which it is located. It is considered an extension of neighborhood residents’ “out-of-yard” and outdoor use area. Landscaping or fencing is often needed to lessen the impact on adjoining neighborhoods. All age groups are served, but the focus is on youth and families.
- **Service Area** – less than ½ mile radius

- **Size Objectives** – 5 to 15 acres
- **Location Objectives** – Centrally located for equitable pedestrian access within a definable neighborhood service area. Adjoining or adjacent to an elementary, middle, or high school, fire station, or library, if possible.
- **Potential Amenities** –
 - Parking for 10 to 20 vehicles (on-street is acceptable if no adverse impact to residents)
 - Bike racks
 - Restrooms
 - Tot lot / children’s play area
 - Family event / group picnic facility
 - Informal family picnic area with benches and tables
 - Unstructured turf grass play area / play or practice field for children, young adults, and families
 - Sport facilities – basketball, volleyball, softball, soccer, baseball, etc.

Community Park

- **General Description** – A community park, by size, program, and location, provides space and recreation activities for a defined service area, the entire city, or significant geographic segment of the city’s population. Generally focuses on the needs of older children and young adults for vigorous sports and athletic activities. If large enough, the park can also accommodate passive recreation needs. In small communities, one community park generally serves as the focal point of the entire park system and the location where most major events take place.
- **Service Area** – 1 to 3 miles
- **Size Objectives** – More than 15 acres
- **Location Objectives** – Located adjoining or immediately adjacent to a collector street providing community-wide vehicular access, thereby reducing neighborhood traffic impacts. Adjoining or adjacent to an elementary, middle, or high school if possible.
- **Potential Amenities**
 - Parking for at least 40 cars
 - Bike racks
 - Restrooms
 - Drinking Fountains
 - Park maintenance and equipment storage
 - Tot lot / children’s play area
 - Group / Family picnic shelters
 - Informal family picnic area with benches and tables
 - Sports facilities may include:
 - Soccer fields
 - Softball and baseball fields

- Football
- Tennis courts
- Basketball courts
- Volleyball
- Jogging trails
- Concessions
- Other facilities as desired and permitted

Special Use Park

- **General Description** – A special use park is often designed as a revenue-generating enterprise created to satisfy demand for a particular sport, recreational activity, or special event. A special use park may also be a sports park combined with enterprise activities and administered as a community recreation resource.
- **Service Area** – Community or area-wide and determined by the type of recreation program, special events, or use activities.
- **Size Objectives** – Determined by land availability and facility / market demand for special uses or recreation programs.
- **Location Objectives** – Determined by the property opportunity, service area, and size objectives.
- **Potential Amenities** – Requires facility programming that is user or market-driven and based on community needs or economic and service principles for public and private partnerships. The magnitude and type of special use facilities may include:
 - Splash Pad
 - Sledding Hill
 - Amphitheater
 - Festival / swap meet / farmers market
 - League / individual sports complex
 - Fitness / entertainment center
 - Skateboard / in-line hockey park
 - Recreation program and classes

School Park

- **General Description** – School park sites often complement other community recreation or open lands. Given the inherent variability of type, size, and location, determining how a school park site is integrated into a larger park system will depend on case-by-case circumstances. The important outcome in the joint-use relationship is that both the school district and park system benefit from shared use of facilities and land area. Establishing a clearly defined joint-use agreement between involved agencies is critical to making school park relationships workable. This is particularly important with respect to acquisition, development, maintenance, liability, use, and programming of facility issues.
- **Service Area** – Neighborhood park and community park classifications criteria should be used to determine school park functions and area served. For planning

purposes, the degree to which school lands, including buildings or facilities, meeting community needs depends on the specific inter-local agreements formed.

- **Size Objectives** – Depends on intended use. The size criteria for neighborhood park and community park classifications may apply.
- **Location Objectives** – The location of a school park site will be determined by the school district based on district policy. Coordinated city and school district planning allows for siting, acquisition, and facility development to be responsive to community needs. Service areas for school park sites will depend on the type of use and facilities provided.
- **Potential Amenities** – Criteria established for neighborhood parks and community parks should be used to determine how a school park site is developed and programmed. Athletic fields should be oriented toward youth where feasible. The functions of the school park may include sports, recreation classes, passive recreation activities, and other recreation programs suitable to an elementary or secondary education school.

Nature / Conservation Area

- **General Description** – Land considered ecologically significant by the City of Milton or other government entity that is preserved due to significant resources, landscapes, open space, or other purpose.
- **Service Area** – Community or area-wide and based on resource availability
- **Size Objectives** – Based on resource availability and opportunity
- **Location Objectives** – Based on resource availability and opportunity
- **Potential Amenities** –
 - Natural oriented outdoor recreation
 - Viewing and studying nature
 - Wildlife habitat
 - Conservation
 - Swimming
 - Picnicking
 - Recreational trails (hiking, bicycling, mountain biking, cross-country skiing, etc.)
 - Fishing
 - Boating
 - Camping
 - May include an area for active play

Underdeveloped Park

- **General Description** – Park within the system that is open space with only minimal amenities such as picnic tables and drinking fountains. These parks are considered underdeveloped because there is potential for them to include a playground, art pieces, or other amenity to draw additional people to the park.

- **Service Area** – Determined based on current use of park. Some underdeveloped parks have a larger service area because they are used for organized sports like youth soccer and youth football.
- **Size Objectives** – Varies.
- **Location Objectives** – Varies.
- **Potential Amenities** – The current state of the park includes only minimal amenities, but there is potential to include a number of new amenities such as playgrounds, art pieces, or walking trails.

Trails

- **General Description** – Public trails are for various recreational activities found in the local area.
- **Service Area** – Community or area-wide and determined by the types of recreation program, special events, or use activities.
- **Size Objectives** – Varies.
- **Location Objectives** – Varies.
- **Potential Amenities** – May include paved, gravel, and/or off-road trails with areas for nature viewing and studying with places of rest like picnic tables and benches.

5.2 Park Standards

The National Recreation and Park Association (NRPA) developed standards many years ago to assist in the evaluation of park systems, but they have not and will not be updated again according to their website because each park system is different based on the needs of the community and availability of resources. The previously established standards from NRPA, NRPA’s annual Agency Performance Review, other municipal CORP plans, and input from the Parks & Recreation Commission were all used to develop community specific standards.

There are a variety of standards that can be used to evaluate the adequacy of a park system. They normally apply to total area, location, size, site characteristics, and activities. Included are the gross space standards and activity / facility standards. The results of applying these technical standards must ultimately be balanced against local values and attitudes to identify the practical extent and composition of a community’s park system.

Gross Space Standard

The Gross Space Standard is stated as a ratio of acres per 1,000 in population depending on the degree of urbanization in a given area. In general, the national standard that many communities utilized based on the NRPA guidance is 10 acres per 1,000 community members. Currently, the average as shown in the 2020 Agency Performance Review from

NRPA is 9.9 acres per 1,000 community members; however, the average for agencies with a population of 20,000 or less is 12 acres.

In the 2001 – 2005 City of Milton Comprehensive Outdoor Recreation Plan, the City utilized the standard of 11 acres per 1,000, which was between the suggested 10-12 acres per 1,000 residents for rural communities by Rock County at the time. The Parks & Recreation Commission determined that 11 acres per 1,000 is still a sufficient number to use for the City of Milton today. The table below illustrates the Gross Space Standard as applied to the projected population of Milton based on the 30-Year Compounded Projection described in Section 4 and also used in the Comprehensive Plan.

City of Milton Gross Space Standard

Acres per 1,000 -	11	x	6,138	=	67.52 acres	-	2020 Gross Space Standard
	11	x	6,457	=	71.03 acres	-	2025 Gross Space Standard
	11	x	6,792	=	74.71 acres	-	2030 Gross Space Standard
	11	x	7,145	=	78.60 acres	-	2035 Gross Space Standard
	11	x	7,517	=	82.69 acres	-	2040 Gross Space Standard

Based on this standard the following table shows the projected population, current acreage of the park system, potential demand for park acreage as the population grows, and the deficient or surplus acreage.

Parks & Recreation Space Needs

	2020	2025	2030	2035	2040
Population	6,138	6,457	6,792	7,145	7,517
Existing Acreage of City Parks & Recreation Areas	117.5	117.5	117.5	117.5	117.5
Demand for Neighborhood Parks (11 acres / 1,000 people)	67.52	71.03	74.71	78.60	82.69
Surplus / (Deficit)	49.98	46.47	42.79	38.90	34.81

**Population based on 30-Year Compounded Projection described in Section 4 and used in the 2015 Comprehensive Plan.*

Based on the standard of 11 acres for every 1,000 community members, there is currently a surplus of parkland, and there will be for at least the next 20 years. The population used for this exercise is also higher than the 2020 Wisconsin DOA population estimate of 5,585, which provides an even higher surplus of acreage of park land.

Activity / Facility Standards

The Activity / Facility Standards outline the recommendations for various activities and facilities. These were adapted from a variety of sources including NRPA resources, the 2001-2005 City of Milton CORP, and discussions with the Parks & Recreation Commission. When comparing these standards to the City of Milton park system, private and school facilities should also be considered to determine if these standards are met. Safe walking or bike access should be available for each facility.

Activity / Facility	Recommended Standards
Baseball / Softball	<p>One (1) baseball field and one (1) softball field for every 5,000 with a service radius of ¼ to ½ mile.</p> <p>May be part of neighborhood complex and lighted fields part of community complex.</p>
Basketball	<p>One (1) 50 foot by 84 foot court per 5,000 population and one (1) 30 foot by 25 foot minimum size court per 2,000 population with a service radius of ¼ to ½ mile.</p> <p>The recommended orientation is along a north-south axis.</p> <p>The court may be located in a school, recreation center, or church facility.</p>
Playground	<p>If there is enough physical space in a park, then there should be a minimum amount of playground equipment if there is a need in the neighborhood (e.g. there isn't another playground within close proximity).</p>
Pavilion with Bathrooms	<p>Located in large community and neighborhood parks where it will have a positive impact on the park and not cause an undue burden on the adjacent neighborhoods.</p>
Shelter without Bathrooms	<p>Located in smaller, neighborhood parks where it will have a positive impact on the park and not cause an undue burden on the adjacent neighborhoods.</p>
Soccer	<p>One (1) play area the same as a football field per 10,000 population.</p> <p>One (1) smaller, youth soccer field per 2,000 population, depending on popularity of the sport. These fields may also serve as youth football fields.</p> <p>The recommended orientation is along a north-south axis.</p>
Football	<p>One (1) full-size field per 20,000 population.</p> <p>One (1) smaller, youth soccer field per 2,000 population, depending on popularity of the sport. These fields may also serve as youth soccer fields.</p>
Picnic Tables and Benches	<p>Minimum of two (2) tables for parks ½ acre or less. A minimum of three (3) tables for parks greater than ½ acre.</p> <p>Consider adding permanent benches where appropriate in parks (e.g. near playground equipment, near a sidewalk, etc.).</p>
Tennis	<p>One (1) court per 2,000 population.</p> <p>The recommended orientation is along a north-south axis.</p>
Volleyball	<p>One (1) court per 2,000 population.</p>

	The recommended orientation is along a north-south axis.
Horseshoes	Two (2) sets of horseshoe pits per 5,000 population
Disc Golf	One, 9-basket course per 5,000 population Follow current recommendations of disc golf professionals and best practices for placement of the disc golf course.

5.3 Statewide Comprehensive Outdoor Recreation Plan (SCORP)

In developing the CORP for the City of Milton, Wisconsin’s Statewide Comprehensive Outdoor Recreation Plan (SCORP) for 2019-2023 was reviewed. The plan shows that 95% of Wisconsin residents participate in some form of outdoor recreation. The five goals identified in the SCORP are the following:

- Boost participation
- Grow partnerships
- Provide high-quality experiences
- Improve data
- Enhance funding and financial stability

The SCORP identifies Statewide Recreation Needs on page 46, which includes:

- Places near population centers – Community members need to be close to recreational opportunities as more people move to urbanized areas and have less time due to work and family obligations to access these resources outside of their communities
- Water access, shoreline and boat launches – Additional areas for people to fish, bird watch, swim, boat, etc.
- Trails – All types of trails are in demand.
- Camping opportunities – Young and old are adventuring in RVs and tents to experience the wonders of nature and travel. Some will want hot showers and wifi, so recreation providers will need to examine how to potentially provide these amenities at camp sites.
- Dog parks and exercise areas – The SCORP notes 75% of people in their thirties own a dog, and community members are interested in additional places to walk, exercise, and socialize their canine companions.
- Target shooting ranges – As the population continues to urbanize, there is a need for additional places where community members can practice gun and archery marksmanship and safety.

The SCORP grouped future recreation needs of the Southern Gateways Region, where Rock County is located, into high, medium, and low priority lists based on public input, surveys, and additional data gathering methods.

High	Medium	Low
<ul style="list-style-type: none"> • ATV/UTV riding • Bicycling – bicycle touring/road riding • Bicycling – mountain biking/off-road biking • Bird or wildlife watching • Camping – developed • Camping – primitive 	<ul style="list-style-type: none"> • Bicycling – fat tire/snow biking • Cross country skiing • Dog walking • Fishing – ice fishing • Fishing – lake fishing from a boat, canoe or kayak 	<ul style="list-style-type: none"> • Dog sledding/skijoring • Dog training • Dog trialing • Horse cart driving • Hunting – migratory birds • Hunting – small game

<ul style="list-style-type: none"> • Canoeing or kayaking • Fishing – lake fishing from shore or a pier • Gather mushrooms, berries, etc. • Hiking, walking, trail running, backpacking • Motorboating (waterski/tubing, personal watercraft) • Picnicking • Snowshoeing • Swimming in lakes and rivers 	<ul style="list-style-type: none"> • Fishing – river fishing from a boat, canoe or kayak • Fishing – stream/river fishing from shore or wading • Four-wheel vehicle driving • Geocaching • Horseback riding • Hunting – big game • Hunting – turkey • Nature photography • Off-highway motorcycle riding • Participating in nature-based education programs • Rock climbing • Snowmobiling • Target shooting – archery • Target shooting – firearms • Visiting a beach, beach walking 	<ul style="list-style-type: none"> • Sailing, windsurfing, rowing, stand-up paddling • Scuba diving/snorkeling • Trapping • Whitewater rafting
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5.4 Rock County Parks, Outdoor Recreation, & Open Space Plan

Rock County’s Parks, Outdoor Recreation, & Open Space Plan for 2020-2025 focuses on a variety of park and recreation facilities and activities throughout Rock County. It would be advantageous for the Parks & Recreation Commission to connect with the Parks Department staff and/or committee to coordinate efforts related to connectivity of the Glacial River Bike Trail and the Ice Age Trail.

Section 6: Public Input

6.1 Public Input Assessment

Public input to assist in determining the park needs of the City of Milton was gathered through the Parks & Recreation Commissioners, a public hearing held at a Parks & Recreation Commission meeting, and a Parks Assessment Survey. The following sections outline the information that was obtained from each of the sources and the information is reflected in the future improvement recommendations in Section 7.

Parks & Recreation Commission Input

The City of Milton gathered input from the Parks & Recreation Commission to determine future improvements in the park system.

Public Input Session

A Public Input Session was held virtually on September 10, 2020 to gather input from the community about the parks system. The group in attendance discussed the overall park system and suggestions for improvements to the park system.

The group discussed the following items:

- Prioritize planting of trees.
- Trail/Bike Trail from Schilberg Park to Crossridge Park.
- Trail/Sidewalk to Bowers Lake Road
- Additional holiday decorations in the City
- Railroad Park – Seating options and additional structure
- South Goodrich Park – improve softball field
- North Goodrich Park – add additional lighting
- Crossridge Park – Add a basketball court near the northern parking lot. Improve playground equipment in northeast corner.

Parks Assessment Survey

The Parks & Recreation Commission made available a Park Assessment Survey for the community to complete. The survey was made available on August 19, 2020 and closed on September 14, 2020.

Completed surveys were received from 65 individuals. Over half of the respondents (60.9%) were in the 35-44 year old category. Almost 75% of the respondents identified as female, and almost all identified as white or Caucasian. Almost half of all respondents (47.6%) were from the City of Milton. The remaining respondents were from the Town of Milton, Town of Harmony, Town of Janesville, City of Janesville, and Town of Fulton, and four were indicated “Other” as where they live.

The overwhelmingly preferred method to receive information about parks and recreation facilities is through Facebook, followed by the City’s website. The bi-monthly utility bill newsletter and the newspaper also had higher responses.

Based on the responses, the park used most often in a 30-day period during a typical summer is South Goodrich Park. There wasn't any park listed that was never used by all respondents. A majority of respondents rated the existing parks and recreational facilities in the City of Milton a 3 or better on a five-point scale with 5 being Excellent. The respondents were asked if they 1-Strongly Disagree or 5-Strongly Agree the parks and recreation facilities fulfill their personal needs and their community's needs. A majority responded with a response of 3-5. In addition, the respondents were asked if there are adequate parks and recreation facilities in their neighborhood with the same "agree" scale. A majority responded to this question with a 3 or better indicating there are adequate parks and recreation facilities in their neighborhoods.

The overall takeaway from open ended responses is improving maintenance of the parks and playground equipment and upgrading existing equipment. There were many respondents who appear to be associated with a club softball team that uses the South Goodrich Park softball field. There were a variety of comments related to improvements requested for the field. There was also discussion on additional or improved natural elements and adult play equipment or exercise equipment. Some respondents also commented on additional basketball hoops, a skate park, outdoor pool, bathrooms at more parks, benches, bike racks, shade and shaded seating at Crossridge Park, parkour course, art, and improvements to scoreboards and bleachers in some parks.

Section 7: Outdoor Recreation Supply Inventory and Recommendations

The City of Milton owns and operates 16 developed parks, plus Story Gardens which is in the process of being developed to create an outdoor extension of the Milton Public Library. There are a variety of open spaces that have the potential to be developed as parks in the future.

The School District of Milton is comprised of seven schools, five of which are located within the City limits, and each offer recreational opportunities. The school district also owns and operates Schilberg Park, Milton’s largest park.

A number of private recreation facilities are located in the City of Milton. The list includes gyms, golf courses, and a driving range.

The map on the following page shows the location of all established park facilities in Milton. The green areas are City Parks, blue areas are school parks, and the one red area is the school district’s park, Schilberg. A map showing the trails in and around Milton is included on the subsequent page.

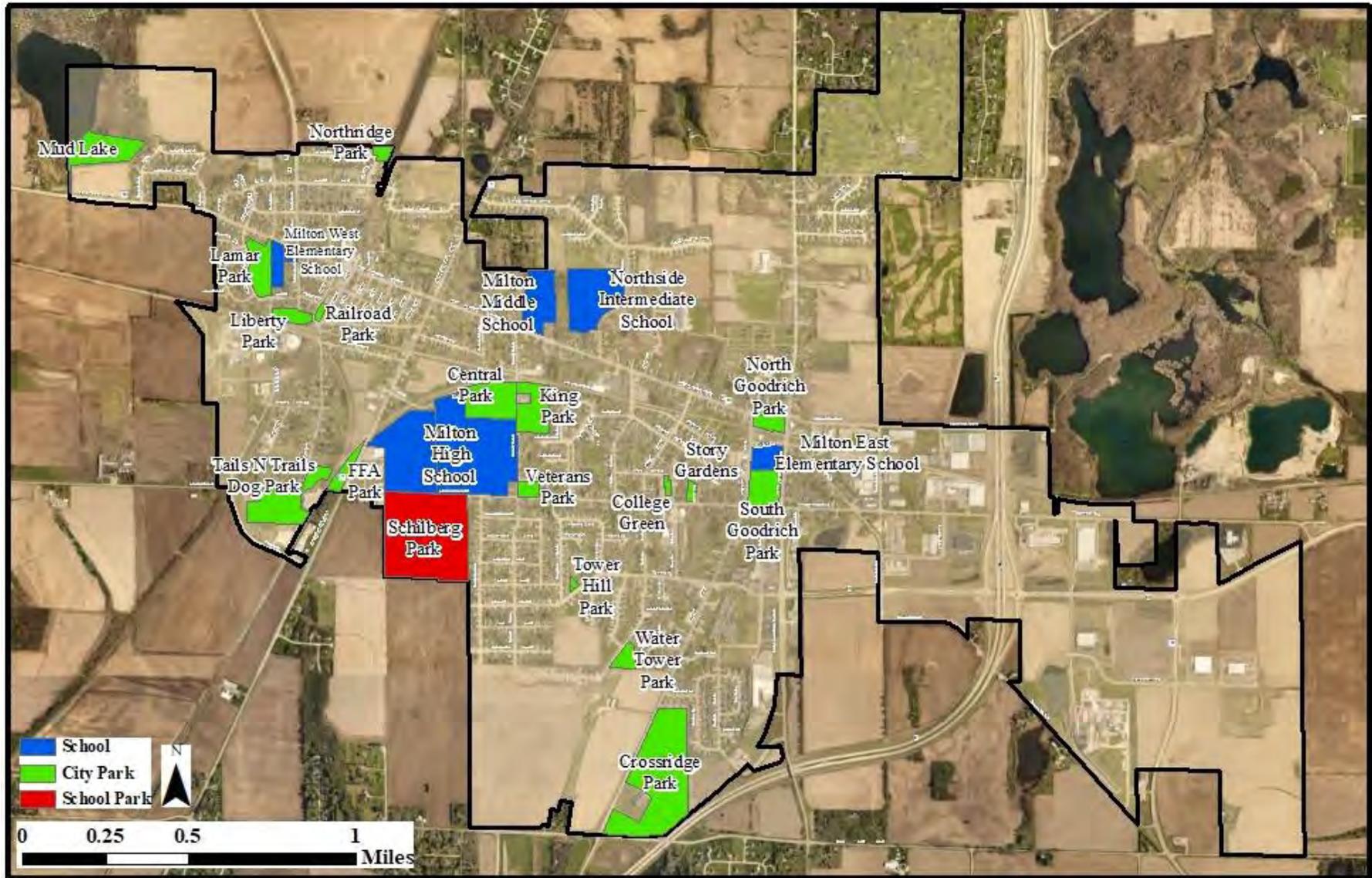
This section provides the location, size, classification, general description, listing of park amenities, and future improvement recommendations. The site observations are generally recommendations to enhance each park.

The Parks & Recreation Commission had general suggestions for all of the parks in Milton in addition to what is listed for each park:

- Use consistent sign format and colors for parks. Some parks say “City of Milton” under the park name, while others don’t. There also is not a standard color used for the signs. Some are red, while others are burgundy or green.
- Use a consistent color scheme for structures, like score sheds and dugouts, located at baseball and softball fields.
- Ensure there is at least one toddler swing on each of the swing sets City of Milton parks.
- Add swings when possible to accommodate individuals with varying abilities.
- Add bike racks to all parks.
- Prepare annual maintenance plan for park system

A representative from Cities & Villages Mutual Insurance Company (CVMIC), the City’s liability insurance company, completed an inspection of all of the City’s parks on May 19, 2020. Items they observed of long term significance are included in this plan while general maintenance items will be addressed by the Public Works Department. Their one overall suggestion for all of the parks, however, is to include signage at each playground indicating the age-appropriateness of the playground equipment. To the right is a sample included in their report.

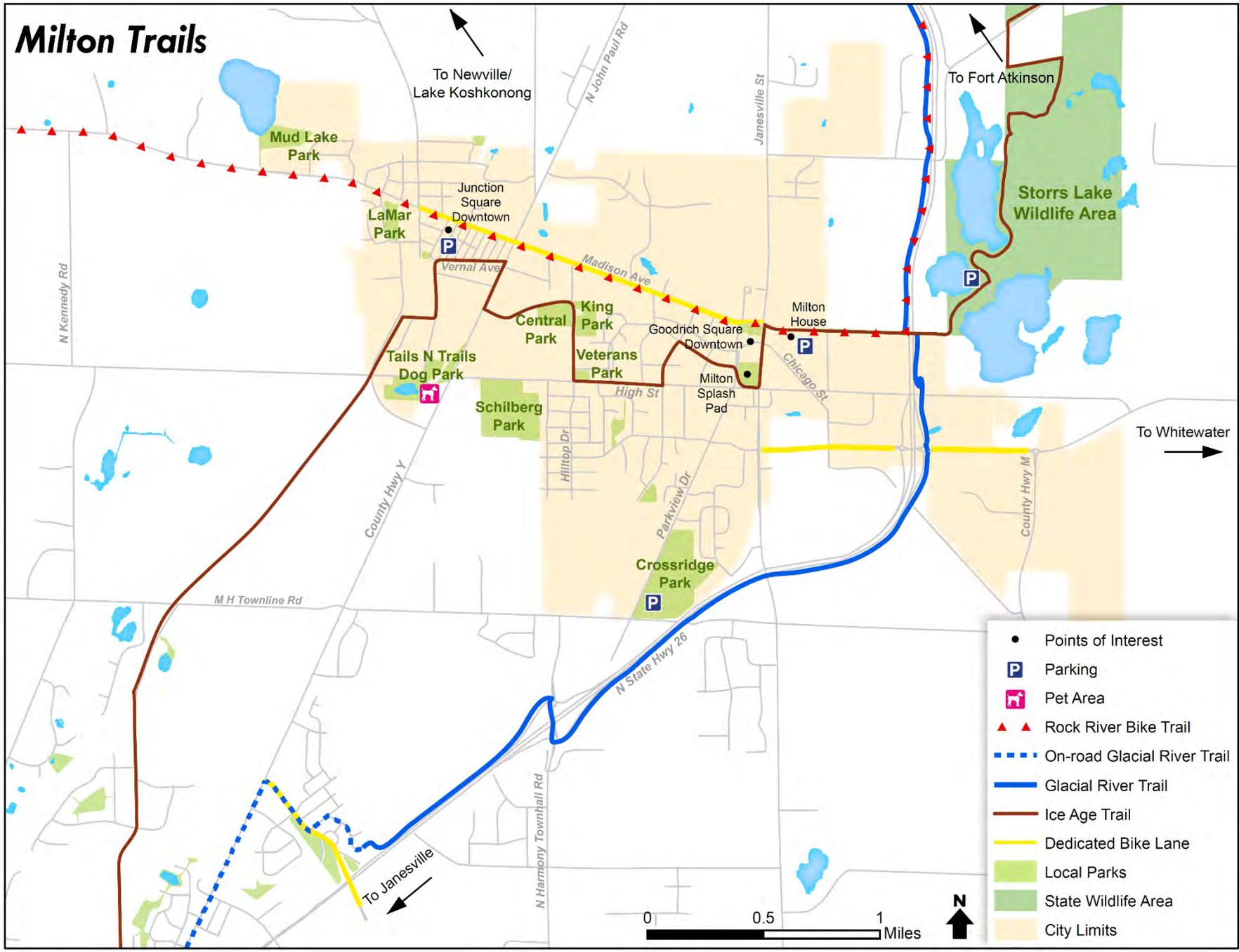




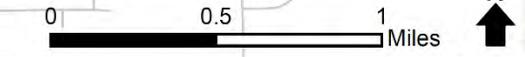
City of Milton

Park System and Schools

Milton Trails



- Points of Interest
- Ⓟ Parking
- 🐕 Pet Area
- ▲▲ Rock River Bike Trail
- On-road Glacial River Trail
- Glacial River Trail
- Ice Age Trail
- Dedicated Bike Lane
- Local Parks
- State Wildlife Area
- City Limits



7.1 City Parks Inventory

Park	Acreage	Park Category	Nature/Con. Areas	Dog Park	Fishing	Walking / Hiking Trail	Playground	Picnic Areas	Shelter	Baseball / Softball	Basketball / Gym	Disc Golf Course	Undesignated Sports Area	Tennis Courts	Other(S)
Central	10.5	NP SU													
College Green	1	UD													
Crossridge	43	NP NC													
FFA	1.5	UD NC													
King	8	SU													
Lamar	5.5	NP													
Liberty	2.5	NP													
Mud Lake	12	NC													
North Goodrich	2	NP													
Northridge	1.5	MP													
Railroad	1	UD													
South Goodrich	6	NP SU													
Story Gardens	1	UD													
Tails n Trails	14.5	NP SU NC													
Tower Hill	3	MP													
Veterans	2	NP SU													
Watertower	2.5	MP													

MP = Mini Park

NP = Neighborhood Park

CP = Community Park

SU = Special Use Park

NC = Nature / Conservation Area

UD = Underdeveloped Park

* - Undesignated sports area with lines for soccer practice.

Central Park

Location: 201 Hilltop Drive, near intersection of Hilltop Drive and Municipal Drive

Size: 10.5 acres

Classification: Neighborhood Park and Special Use

General Description: The softball diamond is used primarily by the Adult Softball League. The tennis courts at this park are technically located on City of Milton property, but they are maintained by the School District of Milton. Before Schilberg Park was established, the 4th of July community festival was held at Central Park.

Park Amenities: Wood and metal bleachers, warming house with bathrooms, shelter with kitchen, scoreboard, and play structure for ages 2-5 (added in 2012). Sand is the surfacing under the play structure. Ice rink in the wintertime.

Future Improvement Recommendations:

- Benches and bleachers need to be painted.
- Blacktop needs to be added under the bleachers and create space for wheelchair seating.
- Add pathways for accessibility to bleachers and play structure.
- The lights will need to be replaced, which are over 40 years old.
- Bathroom and kitchen need to be updated in general and to meet accessibility standards.
- Improvements to netting above the play equipment to increase usability of the space.



College Green

Location: Columbus Street

Size: 1 acre

Classification: Underdeveloped

General Description: This park is a portion of the former Milton College campus that was acquired by the City in 1986 through donations from community members when the campus was subdivided and sold.

The park provides a quiet, passive recreation area that is mainly suited for adults. The park is sloped, which makes it difficult to add active recreation amenities to the park. Parking near the park is a challenge for the site.

Park Amenities: Sign for Milton College Historic District (replaced in 2015), park sign, and picnic tables.

Future Improvement Recommendations:

- Add additional benches and picnic tables.
- Repair rock wall around the park and the stairs on Columbus Street.
- The addition of artwork similar to the sunflower that was added in 2015 to South Goodrich Park would add to the appeal of College Green.
- Add a sign about park's history and significance.
- Consider adding a gazebo or other shade structure.



Crossridge Park

Location: 1122 Parkview Drive

Size: 43 acres

Classification: Neighborhood Park and Nature / Conservation Area

General Description: Crossridge Park has been developed primarily through donations and volunteer hours. Over the last 20+ years, volunteers have worked to redevelop a prairie at the park. A walking trail goes around the northern end of the park, which was seal coated in 2020. The park has a small playground in the north east corner of the park and a large playground in the southern end of the park. The southern playground structure was built by approximately 50 volunteers in 2014. It's located near the parking lot that is shared with the Parker YMCA, a \$4 Million facility that opened in 2013. Flat, open area on the northeast side of the park is used by Milton Youth Football. The land in the middle of the walking path is rented to a local farmer.

Park Amenities: Small playground on north end, large playground on south end, two Crossridge Park Playground signs, walking trail, natural prairie, benches on trail (6), small gravel parking lot on north end, and large paved parking lot on south end shared with Parker YMCA. The small playground includes rock-and-ride toys (2), digger (1), swings, climbers (2), and picnic table. The large playground includes a large play structure geared toward 5-12 year olds, a playweb, a cruise line, pergola constructed by the Milton Lions Club, donor sign, and picnic tables. There is also a gaga ball pit near the southern playground equipment.

Future Improvement Recommendations:

- A pavilion structure with bathrooms.
- Additional trees should be planted for shade, focus on southern playground equipment.
- Blacktop and/or add gravel to north parking lot.
- Continue to build and maintain the natural prairie.
- Sign for gaga ball pit.
- Path to northern playground equipment.
- Update Crossridge Park Plan (included in Section 9).
- Explore options for adding a drinking fountain near Brown Drive entrance.
- Additional playground equipment in northern section.



FFA Park

Location: S. John Paul Road

Size: 1.5 acres

Classification: Underdeveloped

General Description: FFA Park is used primarily by the public for youth football practice. The park is not very accessible since there is no designated parking area. Because of these factors, no major improvements are recommended at this time

Park Amenities: FFA Park sign, picnic tables, prairie area, and hitching post for horses.

Future Improvement Recommendations:

- Add additional picnic tables.
- Improve the entrances to the park.



King Park

Location: 214 Hilltop Drive

Size: 8 acres

Classification: Special Use

General Description: Located across from Central Park. Bathrooms are available across the street at Central Park. The park serves as the community sledding hill in the winter. The flat, open area below the hill is used for Milton Youth Soccer.

Park Amenities: King Park sign, Disc Golf Course (9 baskets), shed for soccer storage, bleachers, and gravel parking lot. A berm was added in 2015 along the east side of the parking lot.

Future Improvement Recommendations:

- Add “Disc Golf” to King Park sign.
- Add picnic tables and benches in strategic locations in the park.
- Pave the parking lot and improve the parking lot entrance.
- Add map of disc golf course.
- Add pathway to the drinking fountain and ensure drinking fountain meets accessibility standards.
- Consider pathways for accessibility to the bleachers.



Lamar Park

Location: 130 S. Crescent Drive

Size: 5.5 acres

Classification: Neighborhood Park

General Description: Lamar Park is located adjacent to Milton West Elementary School and is commonly used for classes. The outfield fencing for the baseball fields was added in 2013. This is a popular park in the community to rent for events. The park can be enhanced for rentals by updating the pavilion and restrooms and adding additional amenities like four-square or bag toss. Supplies for horseshoes and bag toss could be housed in the pavilion for rentals. If lighting is added to the large ball field, then the outfield could be used in the fall for youth football or soccer.

Park Amenities: Swings, teeter totter, tunnels, merry-go-round, picnic tables, rock-and-ride toys, two Lamar Park signs, large baseball diamond and small baseball diamond, two scoreboards in one location, bleachers, dugouts at both fields, outfield fencing, drinking fountains, lights on small ball diamond, and picnic shelter with bathrooms and kitchen. The site also includes sand volleyball court and horseshoe pits. There is a memorial plaque on the back of the slide and others on the dugouts at the ball fields. There is a dedication plaque for Lamar Park near the pavilion.

Future Improvement Recommendations:

- Paint tunnels and other playground equipment on a regular basis.
- Bathroom and kitchen need to be updated in general and to meet accessibility standards.
- Paint the pavilion.
- Add concrete bag toss game and four-square area.
- Upgrade the volleyball area.
- Add additional light to little baseball field (south end).
- Add lighting to large baseball field (north end).
- Change play structure surfacing to all engineered wood fiber instead of the sand and connect all play spaces through pathways.
- Improve blacktop under bleachers at the ball diamonds and add pathway to the bleachers and wheelchair seating area.



Liberty Park

Location: 230 S. Clear Lake Avenue

Size: 2.5 acre

Classification: Neighborhood Park

General Description: In 2012, Liberty Park benefitted from the Chevy Diamonds & Dreams grant program, which renovated the baseball diamond. New netting was also purchased through a donation from a local organization.

Generally, this field is used for 9-12 year old Little League. There are some parking and traffic concerns how the park is configured currently.

Park Amenities: Two Liberty Park signs, one digger, one teeter totter merry-go-round, two climbers, bathrooms, concession stand, Little League baseball field, formal dug out on one side, metal bleachers, scoreboard, and train engine.

Future Improvement Recommendations:

- Replace fence around baseball field.
- Place something, possibly artwork, on the back of the scoreboard.
- Improve parking and traffic flow.
 - One-way traffic from N. Clear Lake Avenue, parking lot/drop off, proceed to Vincent Street.
- Junction Square Plan (2015)
 - Add a driveway through the water tower area to connect S. Clear Lake Avenue driveway and parking lot to Vincent Street.
 - Add "Parking" under Liberty Park sign on Vincent Street.
 - Add pathway for easier access to the park from Front Street and Merchant Row.
- Replace outdated playground equipment and sand surfacing for engineered wood fiber.
- Update bathrooms and other structures to comply with current accessibility standards.
- Move equipment to gravel cul-de-sac area

Note: Work on water tower scheduled in 2023.



Mud Lake

Location: W. Madison Avenue

Size: 12 acres

Classification: Nature / Conservation Area

General Description: This land was acquired by the City of Milton through a sub-divider's parkland dedication procedure. The development was funded from aids for the acquisition and development of local parks and Wisconsin Department of Natural Resources. The area is off limits to recreation vehicles. Hunting is also prohibited. Community members will use canoes and other light, non-motorized boats on Mud Lake.

The water could be made more accessible for users by constructing a fishing dock; however, there is a significantly steep hill at the entrance of the site. It would be a significant investment to make the park fully accessible.

Park Amenities: Walking trail, picnic tables, and parking lot.

Future Improvement Recommendations:

- Consider a land donation in lieu of park funds in order to expand the parking lot if the land near Mud Lake is developed
- Construct a fishing dock at Mud Lake if accessibility improvements can be made.
- Explore addition of a kayak launch.
- Install trail signage.
- Create designated picnic area.



North Goodrich Park

Location: 20 Parkview Drive

Size: 2 acres

Classification: Neighborhood Park

General Description: North Goodrich Park is located in the Village Square Historic District (Milton Code of Ordinances, Chapter 34, Article V, Division 3) and is home to the Milton Community House, a former train depot constructed in 1914. The Milton Community House is rented out for various events throughout the year. The park is used for community events like MACC's Annual Chicken BBQ and often times school groups touring the Milton House Museum will picnic in the park. The parking lot was repaved in 2018 and the landscaping around the Community House was redone.

Park Amenities: Milton Community House, tunnels (2), merry-go-round, swings, climbers (3), digger (1), tourism kiosk, rock-and-ride toys (2), slide, teeter totter, grills (3), drinking fountain, parking lot, picnic tables, and North Goodrich Park signs (2). Shuffleboards are also at the park, but need to be rehabilitated.

Future Improvement Recommendations:

- Improve shuffleboards so they can be used.
- Add path to drinking fountain and play equipment.
- Add play additional larger play structure.
- Change sand to engineered wood fiber.
- Accessibility and general updates and improvements to the Milton Community House.
- Relocate tourism kiosk.
- Explore selfie station or other photo opportunities.



Northridge Park

Location: 420 Rivendell Drive

Size: 1.5 acres

Classification: Mini Park

General Description: Small park located in the north west residential area of the city serving a small neighborhood. In general, the park is in good condition. Some minor repairs and upgrades will enhance the usability of the park.

Park Amenities: Northridge Park sign, swings, climbers (3), rock-and-ride toys (2), digger (1), and slide.

Future Improvement Recommendations:

- Touch up paint on sign and picnic tables.
- Consider options to utilize the larger open area. Potentially market more for youth football, youth soccer, and other sports needing open space.
- Replace sand surfacing with engineered wood fiber.
- Add additional play structure with ground elements.
- Develop a path from the sidewalk to the play equipment for accessibility.
- Add bench
- Add additional trees



Railroad Park

Location: 202 Front Street, bordered by Merchant Row and Front Street

Size: 1 acre

Classification: Underdeveloped

General Description: Railroad Park is green space located in the center of the Junction Square downtown district on the west side of the City of Milton. Great open space with mature trees, drinking fountain, and trash receptacles. This is a great location in the downtown area for a picnic.

Park Amenities: Railroad Park sign and picnic tables.

Future Improvement Recommendations:

- Add picnic tables and benches.
- Add gazebo or other shade structure.
- Explore addition of an art piece.
- Explore addition of “selfie stations” or other fun photo opportunities for those visiting the downtown businesses.
- Add interpretive signage for the train engine and Merchant Row downtown.



South Goodrich Park

Location: 404 Parkview Drive

Size: 6 acres

Classification: Neighborhood Park and Special Use

General Description: South Goodrich Park is Milton's oldest park and located in the Village Square Historic District (Milton Code of Ordinances, Chapter 34, Article V, Division 3). It is located adjacent to the Milton East Elementary School and the small ball diamond is commonly used for classes. The larger ball diamond is commonly used for softball games. Bathrooms were updated in 2016 to meet accessibility standards. The splash pad was constructed in 2013 and repainted in the fall of 2019. The sculpture of the bee and the flower was created by local metal artisan John Dorn and donated by Lonnie Brown in memory of her husband, Wally. It was installed in 2014.

Park Amenities: Goodrich Square Splash Pad, pavilion with bathrooms and kitchen, lighted softball diamond with scoreboard, small ball diamond, South Goodrich Park sign, Welcome to Milton sign, and picnic tables.

Future Improvement Recommendations:

- Add pathways from the sidewalk to the bleachers at the ball diamond and add wheelchair seating areas near bleachers.
- Replace drinking fountain with one that meets accessibility standards.
- Add "Railroad Ends" sign at end of pretend railroad tracks.
- Add sign that explains the historic significance of the design of the splash pad.
- Explore improvements to the softball field.
- Add sidewalk along N. Janesville Street.



Story Gardens

Location: Next to Milton Public Library; 430 East High Street

Size: 1 acres

Classification: Underdeveloped

General Description: Story Gardens will be an outdoor extension of the Milton Public Library featuring gardens, an outdoor programming space, stage and seating area, interactive play and learn elements, and art pieces from local artists celebrating literature and art.

Park Amenities: The current space includes a pollinator garden (planted in 2020 through a grant from GROWMARK), two raised garden beds constructed by the Milton Lions Club (planted in 2020 through plant donations from David and Barbara Bendlin), two signs, one mosaic butterfly created by local artist Heather Hansen from Pottery by Five (installed 2020), and one mosaic butterfly created for the Janesville Rotary Gardens Buzzworthy Bees: 2020 Garden Art Project by local artist Connie Bier and subsequently donated to Story Gardens.

Future Improvement Recommendations:

- The intent is to update the plan and continually add elements as funding is available. The first priority is constructing the outdoor programming space and perimeter walking trail.



Tails n Trails Dog Park

Location: 466 Elm Street

Size: 14.5 acres

Classification: Neighborhood Park, Nature / Conservation Area, and Special Use Park

General Description: The grand opening for the Tails n Trails Dog Park was held in 2011. This park was funded through donations and a \$5,000 matching grant from the City of Milton. There is a Large Dog Park and a Small Dog Park. Both areas are fully fenced. The Large Dog Park has a retention pond that has water levels that fluctuate depending on the season and the rain.

Park Amenities: Playground structure, dog wash station, drinking fountain, small fenced in dog area, large fenced in dog area, retention pond, picnic tables, benches, donation bins (2), and walking trail.

Future Improvement Recommendations:

- Information kiosks need to be repaired.
- Place the port-a-john in a different location on a blacktop pad.
- Add dog play area in 2021 through an Eagle Scout project.
- Blacktop entrance to the small dog park near the drinking fountain.



Tower Hill Park

Location: E. St. Mary Street

Size: 3 acres

Classification: Mini Park

General Description: Small park located in the eastern portion of the City serving a small neighborhood. Additional play structure and swings added in 2018. There is also a natural prairie area behind the houses in the neighborhood with a mowed pathway around the area.

Park Amenities: Tower Hill Park sign, rock-and-ride toys (2), digger, climber, toddler teeter totter, bench, picnic table, swings, and play structure.

Future Improvement Recommendations:

- Add additional trees.
- Add signage related to the prairie (public land, plants to see, etc.).
- Designate prairie as “Bendlin Prairie.”



Veterans Park

Location: 430 Hilltop Drive

Size: 2 acres

Classification: Neighborhood Park and Special Use

General Description: Veterans Park is commonly used for youth sports because there is the open green space in the middle between the playground equipment and the Milton Area Veterans Memorial. Expansion of the Milton Area Veterans Memorial occurred between 2013 and 2017. In 2020, the Veterans Park Pavilion was completed. The roof on the small shelter was replaced by a volunteer group in 2019. The play structure was installed in 2013, and a memorial bench was placed soon after.

Park Amenities: Playground structure (5-12 year olds), swings, digger, rock-and-ride toy, small shelter with one picnic table underneath, pavilion with restrooms, merry-go-round, undesignated sports area, and Milton Area Veterans Memorial.

Future Improvement Recommendations:

- Add pathway from the new parking lot on Orchard Row to the play equipment for accessibility.
- Add path to drinking fountain.
- Replace drinking fountain with one that meets accessibility standards.
- Replace merry-go-round with a more modern design.



Watertower Park

Location: 932 Rogers Street

Size: 2.5 acres

Classification: Mini Park

General Description: Small park in the eastern portion of the City serving a growing neighborhood with the addition of the Red Hawk Farms Subdivision.

Park Amenities: The water tower, Water Tower Park sign, rock-and-ride toys (2), digger, climber, swings, picnic table, and play structure (added 2020).

Future Improvement Recommendations:

- As the Red Hawk Farms Subdivision grows, additional equipment or an additional park may be needed.
- Trail connection between Watertower Park and the Red Hawk Subdivision and Crossridge Park and Schilberg Park.



7.2 School District Parks

Park	Acreeage	Park Category	Nature Areas	Dog Park	Fishing	Walking / Hiking Trail	Playground	Picnic Areas	Shelter	Baseball / Softball	Basketball / Gym	Disc Golf / Course	Football Field	Soccer Field	Tennis Courts	Other(S)
Milton East	2	SP														
Milton High	20	SP														
Milton Middle	6	SP														
Milton West	2	SP														
Northside	9	SP														
Schilberg	40.5	SP C														

SP = School Park C = Community Park

Milton East Elementary School

Location: 725 Greenman Street **Size:** 2 acres **Classification:** School Park

General Description: The school is located adjacent to South Goodrich Park, which is often used for classes. Milton East Elementary School is one of four elementary schools that serves grades Kindergarten – 3 in the School District of Milton, and one of two located within the City of Milton. The park has balancing boards, teeter-totters, jungle gym, bus and train play area equipment, play structures with slides, swings (14), monkey bars, basketball hoops (2), benches, picnic tables, and a bike rack.

Milton High School

Location: 114 W. High Street **Size:** 20 acres **Classification:** School Park

General Description: Milton High School serves grades 9 – 12 in the School District of Milton. There is a baseball diamond, football field with a track also used for soccer, an undesignated sports area with soccer lines drawn, and a few picnic tables. There is a nature area with woods and native prairie that have some unpaved paths throughout.

Milton Middle School

Location: 20 E. Madison Avenue **Size:** 6 acres **Classification:** School Park

General Description: Milton Middle School serves grades 7 – 8 in the School District of Milton. There are soccer goals, basketball hoops, benches, and picnic tables.

Milton West Elementary School

Location: 825 W. Madison Avenue **Size:** 2 acres **Classification:** School Park

General Description: The school is located adjacent to Lamar Park, which is often used for classes at Milton West Elementary School. The school is one of four elementary schools that serves grades Kindergarten – 3 in the School District of Milton, and one of two located within the City of Milton. There is a zip line, tire swing, swings, monkey bars, rock climber, tether ball pole, basketball hoops, play structure with slides, benches, and picnic tables.

Northside Intermediate School

Location: 159 Northside Drive **Size:** 9 acres **Classification:** School Park

General Description: Northside Intermediate School serves grades 4 – 6 in the School District of Milton. The play area includes basketball courts, soccer field, play structure, running trails, picnic tables, benches, and bike racks. There is a nature area with a small cove of trees and a walking trail.

Schilberg Park

Location: 301 W. High Street **Size:** 40.5 acres **Classification:** Community / School Park

General Description: The park is owned and operated by the School District of Milton. Milton's annual 4th of July celebration is held at Schilberg Park along with other large-scale community events. There are basketball courts, soccer fields, football fields, baseball diamonds, disc golf, sand volleyball, horseshoe pits, new playground equipment installed in 2020, shelter/pavilion, picnic tables, benches, trails, and a concession stand. Bathrooms are located in the pavilion and the concession stand.

7.3 Trails

Trail	Nature Areas	Pedestrian	Hiking	Backpacking	Biking	Rest Stops	Picnic Tables	Dogs Allowed	Horses Allowed	Cross Country Skiing	Snowshoe	Snowmobile	Wheelchair Accessible	Parking and Trail Access
Ice Age Trail					*									
Ice Age Connector Multi-Use Trail														
Glacial River Trail														
Rock River Biking Trail														
Snowmobiling Trails														

* - Allowed only when trail coincides with a biking trail.

Ice Age Trail – Milton Segment

Location: Storrs Lake Road to Manogue Road **Size:** 4.3 miles **Classification:** Trail

Description:

This segment highlights both the history of the community and the terminal moraine of the Green Bay Lobe where the Milton College Historic District is perched.

Ice Age Trail – Janesville to Milton Segment

Location: Between City of Milton and City of Janesville, Manogue Road in Milton to Kennedy Road in Janesville **Size:** 3.2 miles **Classification:** Trail

Description:

This segment links two suburban areas via a portion of pleasant, tree-lined converted railway path.

Ice Age Trail – Storrs Lake Segment

Location: Storrs Lake **Size:** 1.8 miles **Classification:** Trail

Description:

This segment passes through woods where Abraham Lincoln camped and features wetlands and mixed forest teeming with songbirds and waterfowl.

Glacial River Trail

Location: State Highway 26 **Size:** 55.8 miles **Classification:** Trail

Description:

The Glacial River Trail runs from Janesville to Juneau and passes through Milton along State Highway 26. About 1 mile of trail is within City limits. More information: <https://www.traillink.com/trail/glacial-river-trail/>.

Rock River Trail

Location: Along the Rock River, starting in Waupun, WI and ending in Rock Island, IL **Size:** 320 miles **Classification:** Trail

Description:

The Rock River Trail in the Milton area runs along State Highway 26 and turns onto Storrs Lake Road into Madison Avenue with a straight shot through Milton. About 3 miles of the trail is within City limits. More information: <https://rockrivertrail.com/>.

Snowmobile Trails

Location: In and around the City of Milton **Size:** Varies **Classification:** Trail

Description: There are various snowmobile trails throughout area that change yearly. However, the trail almost always runs near N HWY 59, by Manogue Road to Townline Road, and another near N. Vickerman Road. Depending on the snow and conditions, these trails are usually open in late December and close in late March – early April.

More information and trail maps can be found on the following websites:

- <http://www.co.rock.wi.us/parks-snowmobile-trails>
- <https://www.awsc.org/Clubs/Club-Listing.aspx?county=Rock>

7.4 Campgrounds

The campgrounds are not located in the City of Milton and are all privately owned and operated.

Blackhawk Camping Resort	3407 E. Blackhawk Drive, Milton, WI 53563
Milton KOA	872 East STH 59, Milton, WI 53563
Jellystone Park of Fort Atkinson	N551 Wishing Well Lane, Fort Atkinson, WI 53538
Lakeland Camping Resort	2803 East STH 59, Milton, WI 53563
Lakeview Campground & Bar	1901 East STH 59, Milton, WI 53563

7.5 Undeveloped City Owned Parcels that Could Become Parks

Well #5	240 N. Janesville Street
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Section 8: Recommendations for Outdoor Recreation Provision

8.1 Action Program

Administrative Projects

The Parks & Recreation Commission will complete the following administrative projects during the 2020-2024 time period:

	2020	2021	2022	2023	2024
Strategic Bench Placement Plan		X			
Fundraising / Volunteer Guide	X				
Tree City USA Designation	X	X	X	X	X
Strategic Tree Placement Plan		X			
Trail Clean Up Day at Mud Lake		X	X	X	X
Crossridge Park Prairie Seed Pick	X	X	X	X	X
Tower Hill Park Prairie Seed Pick	X	X	X	X	X
Tails n Trails Dog Park Clean Up		X	X	X	X
Make a Difference Day		X	X	X	X
Arbor Day Celebration	X	X	X	X	X
Annual Maintenance Plan	X	X	X	X	X

Capital Improvement Plan (CIP)

Based on the information that has been gathered regarding outdoor recreation in the City of Milton and the standards that have been previously discussed, the following is a list of capital improvement items the Parks & Recreation Commission believes they can reasonably accomplish in the next five years. The list also includes unprogrammed expenses for future years.

The costs provided are only estimates and more detailed work on the cost of the projects will need to be done closer to the start dates for each project.

The capital items listed don't include routine maintenance items, such as painting a dugout. The focus of this capital improvement plan is to correct health and safety hazards, upgrade deficient facilities, and modernize facilities to meet current accessibility standards. There are no major improvements taking place in the CIP that would significantly add to the maintenance responsibilities of the Public Works Department.

	2020	2021	2022	2023	2024	Unprogrammed
Revenue Sources						
Projected Park Fund Beginning Balance	\$ 57,649	\$ 57,355	\$ 12,000	\$ 39,000	\$ 12,000	
Projected General Fund Allocation	\$ 10,000	\$ 10,000	\$ 10,000	\$ 10,000	\$ 10,000	
Projected Dog Park Account Beginning Balance	\$ 11,672	\$ 11,422	\$ 4,422	\$ 4,800	\$ 5,000	
Sidewalk Fund		\$ 15,000				
Donations (annual target)	\$ -	\$ 5,000	\$ 5,000	\$ 5,000	\$ 5,000	
Capital Improvements						
Project Totals	\$ 10,544	\$ 93,200	\$ -	\$ 240,000	\$ -	\$ 840,500
Net (revenue less expenses)	\$ 57,355	\$ 1,155	\$ 27,000	\$ (186,000)	\$ 27,000	

Central						
Add age-appropriateness sign by play equipment	\$ 250					
College Green						
Add interpretive signs		\$ 500				
Add art piece					\$ 5,000	
Gazebo					\$ 20,000	
Repair rock wall and stairs						
Crossridge						
Add path from existing trail to northern play equipment.					\$ 9,000	
North play equipment upgrades and sign for age-appropriateness					\$ 20,000	
Add drinking fountain					\$ 6,000	
Educational signs about the prairie		\$ 500				
Sign for gaga ball pit	\$ 500					
Add sign for age-appropriateness near southern play equipment	\$ 250					
Pave north parking lot					\$ 35,000	
FFA						
No improvements						
Glacial River Trail						
Bike repair station	\$ 1,626					
King						
Add "Disc Golf" to King Park sign	\$ 300					
Add course map sign	\$ 450					
Pave parking lot and path to drinking fountain					\$ 65,000	
Lamar						

	<u>2020</u>	<u>2021</u>	<u>2022</u>	<u>2023</u>	<u>2024</u>	<u>Unprogrammed</u>
Pavilion updates (roof, kitchen, accessibility, floor, etc.)						\$ 60,000
Play equipment upgrades, play equipment connections, and sign for age-appropriateness						\$ 35,000
Path to bleachers						\$ 10,000
Bike Rack	\$ 451					
Baseball field lighting improvements						
Liberty						
Play equipment updates and sign for age-appropriateness				\$ 40,000		
Parking and traffic flow improvements				\$ 190,000		
Accessibility updates to restrooms				\$ 10,000		
Mud Lake						
Designate picnic area with signs and tables		\$ 1,500				
Add trail directional signs		\$ 500				
Parking lot improvements						
North Goodrich						
Play equipment upgrades, play equipment connections, and sign for age-appropriateness		\$ 35,000				
Community House exterior improvements and accessibility updates						\$ 374,000
Replace drinking fountain		\$ 3,000				
Path to drinking fountain		\$ 3,000				
Northridge						
Play equipment updates, change surfacing to EWF, and sign for age appropriateness						\$ 25,000
Add path from sidewalk to equipment						\$ 10,000
Railroad						
Bench/seating area and picnic tables		\$ 10,000				
Bike repair station and bike rack	\$ 2,077					
Add art piece						\$ 3,000
Add interpretive signs						\$ 500
South Goodrich						
Softball field improvements						\$ 50,000
Access path to softball field and bleachers		\$ 10,000				
Replace drinking fountain		\$ 3,000				

	2020	2021	2022	2023	2024	Unprogrammed
Sidewalk along Janesville Street						\$ 54,000
Add donation bin by splash pad	\$ 350					
Story Gardens						
Outdoor Programming Space						\$ 35,000
Walking path						\$ 24,000
Bike repair station and bike rack	\$ 2,191					
Add donation bin by Story Gardens	\$ 350					
Tails n Trails						
Blacktop truck entrance at small dog park - Dog Park Fund		\$ 7,000				
Add sign for age-appropriateness near play equipment	\$ 250					
Dog playground - Eagle Scout project		X				
Tower Hill						
Plant additional trees		\$ 350				
Add sign for age appropriateness near play equipment	\$ 250					
Educational signs about the prairie		\$ 500				
Designate prairie "Bendlin Prairie"	\$ 500					
Veterans						
Replace drinking fountain		\$ 3,000				
Add sign for age appropriateness near play equipment	\$ 250					
Add path to drinking fountain	\$ 500					
Add path from Orchard Row parking lot to play equipment		\$ 15,000				
Watertower						
Plant additional trees		\$ 350				

8.2 Funding

Local Funds

Local funds available include the following sources:

- **Park Fund** – Funded through the credit card rebate program and recycling revenue. At times, the proceeds from the sale of surplus items will be added to the Park Fund. Within the Park Fund, there are segregated accounts for specific parks including

Veterans Park for the memorial and pavilion, Goodrich Square Splash Pad, Tails n Trails Dog Park, and Story Gardens.

- **Capital Budget** – The Common Council annually determines the capital budget, and, at times, will include funding for park related projects in the capital budget.
- **CVMIC Grant Program** – The cities liability insurance company, Cities & Villages Mutual Insurance (CVMIC), has an annual grant program available
- **Donations** – The Parks & Recreation Commission has set a target annual donation goal of \$5,000 to assist with funding planned projects.

Available Grant Funding Programs

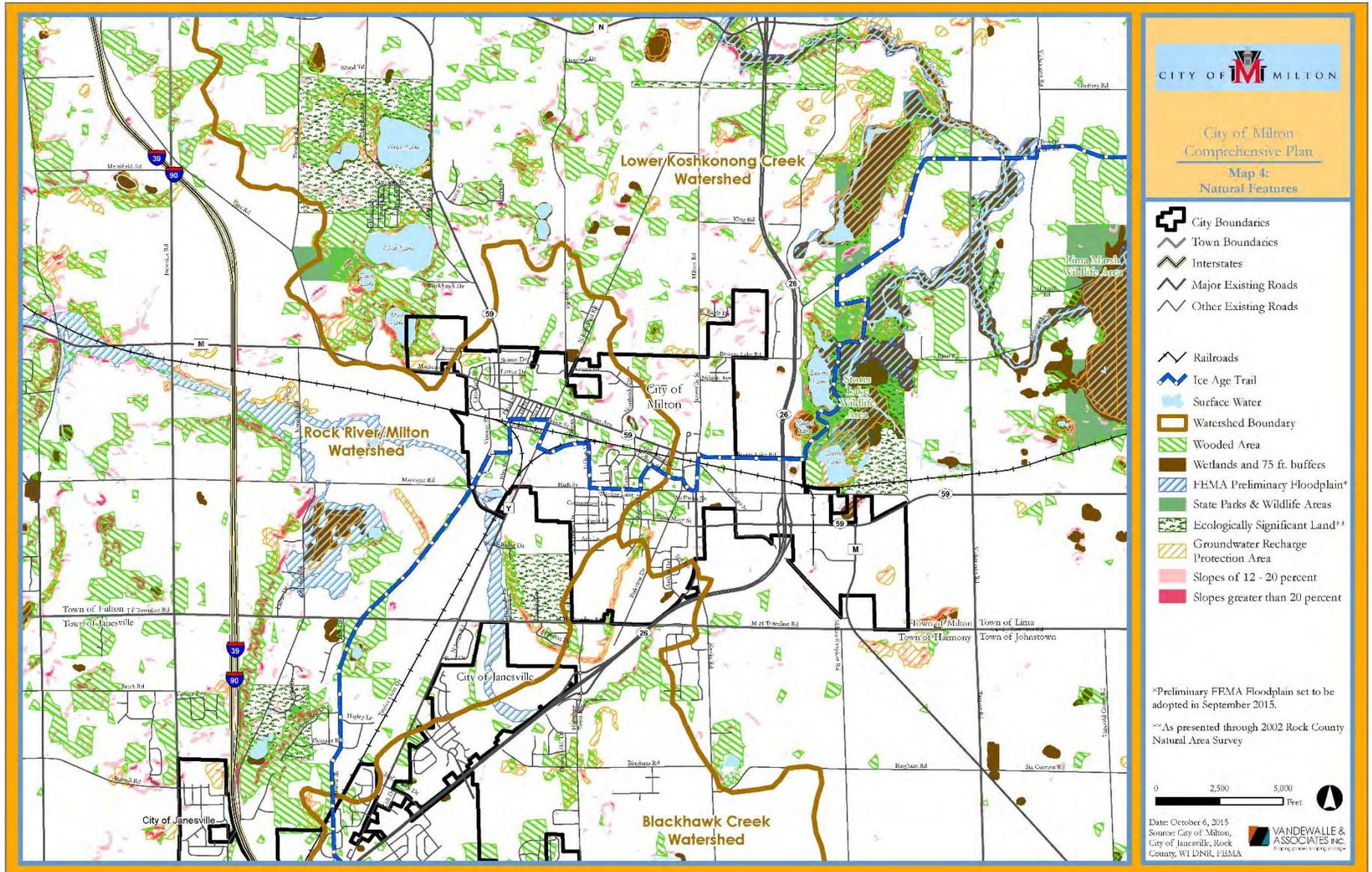
The following grants are available as options for park projects, but many are highly competitive.

- Milton Community Fund
- Alliant Energy Foundation
- Knowles-Nelson Stewardship Local Assistance Grant Subprograms
 - Acquisition and Development of Local Parks (ADLP)
 - Acquisition of Development Rights (ADR)
 - Urban Green Space (UGS)
 - Urban Rivers (UR)
- Federal Recreation Grant Programs
 - Land and Water Conservation Fund (LWCF)
 - Recreational Trails Program (RTP)

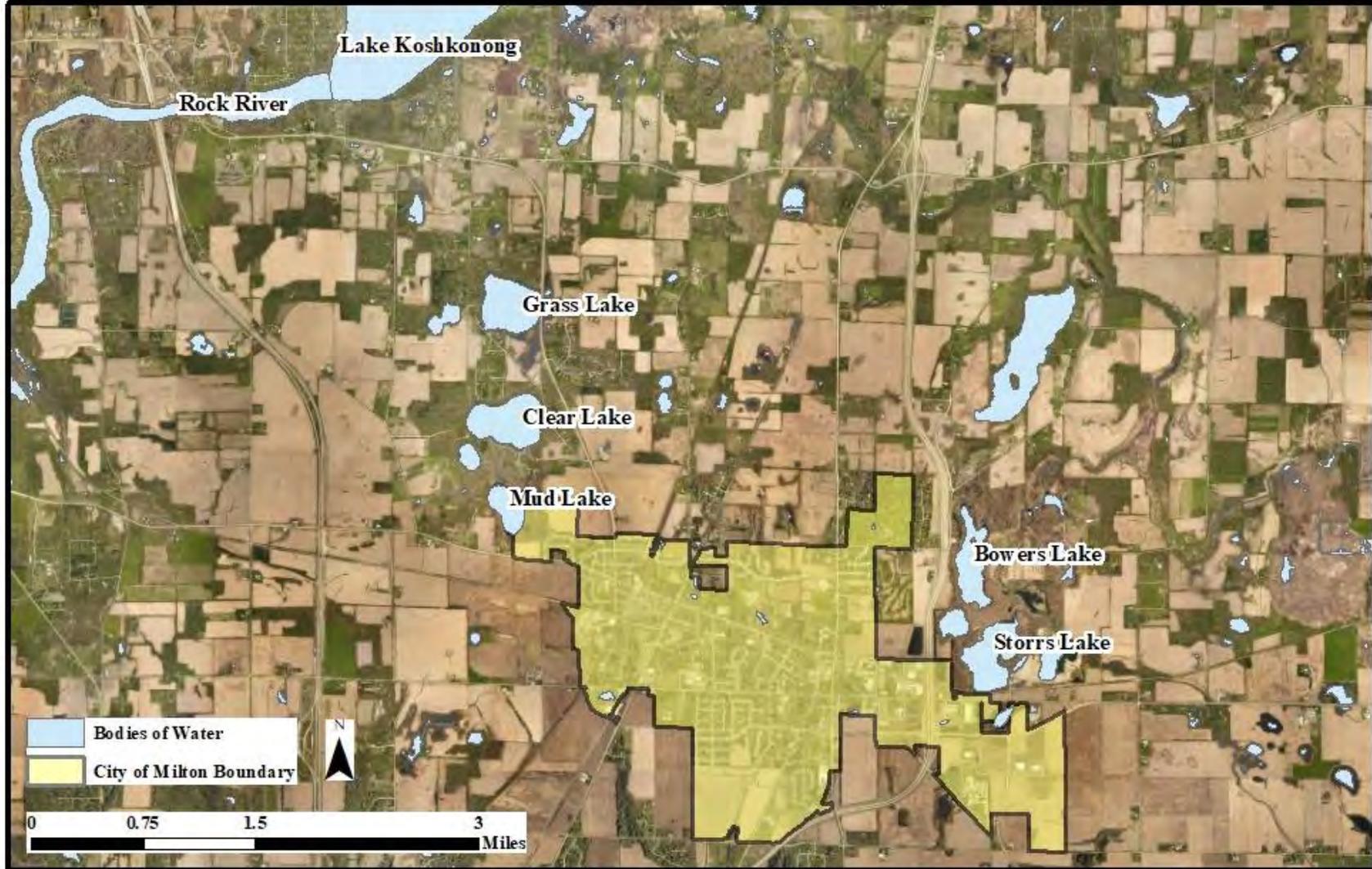
Section 9: Supporting Information

- 9.1 Comprehensive Plan Map 4: Natural Features**
- 9.2 Major Bodies of Water in Milton Region**
- 9.3 Crossridge Park Site Plan**
- 9.4 Comprehensive Plan Map 6a: Future Land Use – ETJ View**
- 9.5 Comprehensive Plan Map 6b: Future Land Use – City View**
- 9.6 Liberty Park Project Description**
- 9.7 Urban Forest Proposal, 240 N. Janesville Street**

9.1 Comprehensive Plan Map 4: Natural Features



9.2 Major Bodies of Water in Milton Region



City of Milton

Major Bodies of Water in Milton Region

9.3 Crossridge Park Site Plan

Cross Ridge Park Site

City of Milton
and
YMCA of North Rock
County

LEGEND

- ① Gravel Parking Lot
- ② Small Playground
- ③ Skateboard Park
- ④ Backstop
- ⑤ Soccer Field
- ⑥ Large Playground
- ⑦ Sand Volleyball
- ⑧ (2) Horseshoe Pits
- ⑨ Cross Ridge Park Sign
- ⑩ Parking Lot - 200 stalls
- ⑪ Shelter - 2,500 sf
- ⑫ Shelter - 4,500 sf
- ⑬ Disc Golf Course
- ⑭ City of Milton Sign
- ⑮ YMCA Facility
- ⑯ Extended Parking
- ⑰ Baseball Fields (2)
- ⑱ Soccer Fields (2)
- ⑲ Football Field
- ⑳ Extreme Playground
-  Prairie Grass

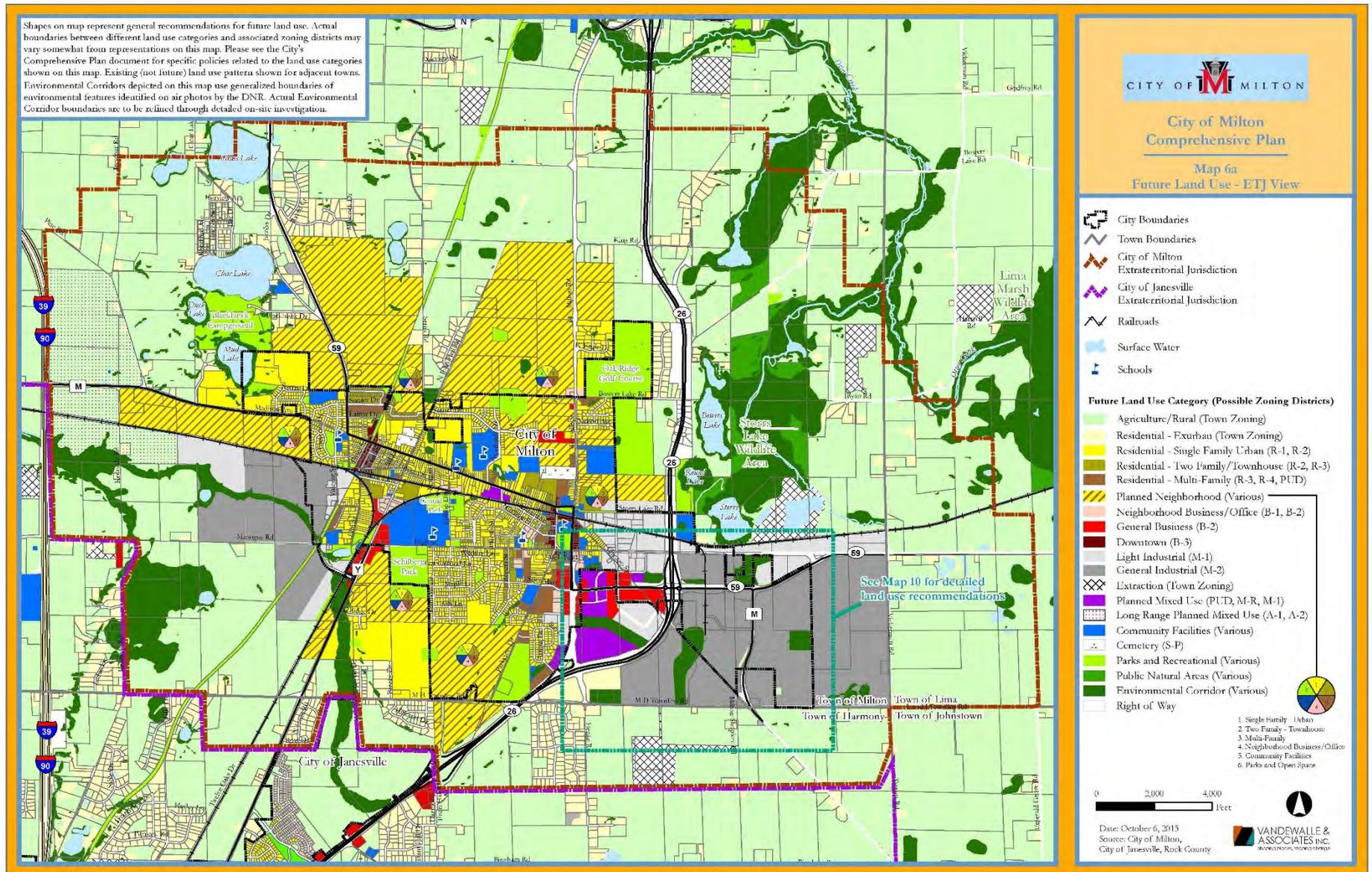


Angus Young
Balance in Creativity

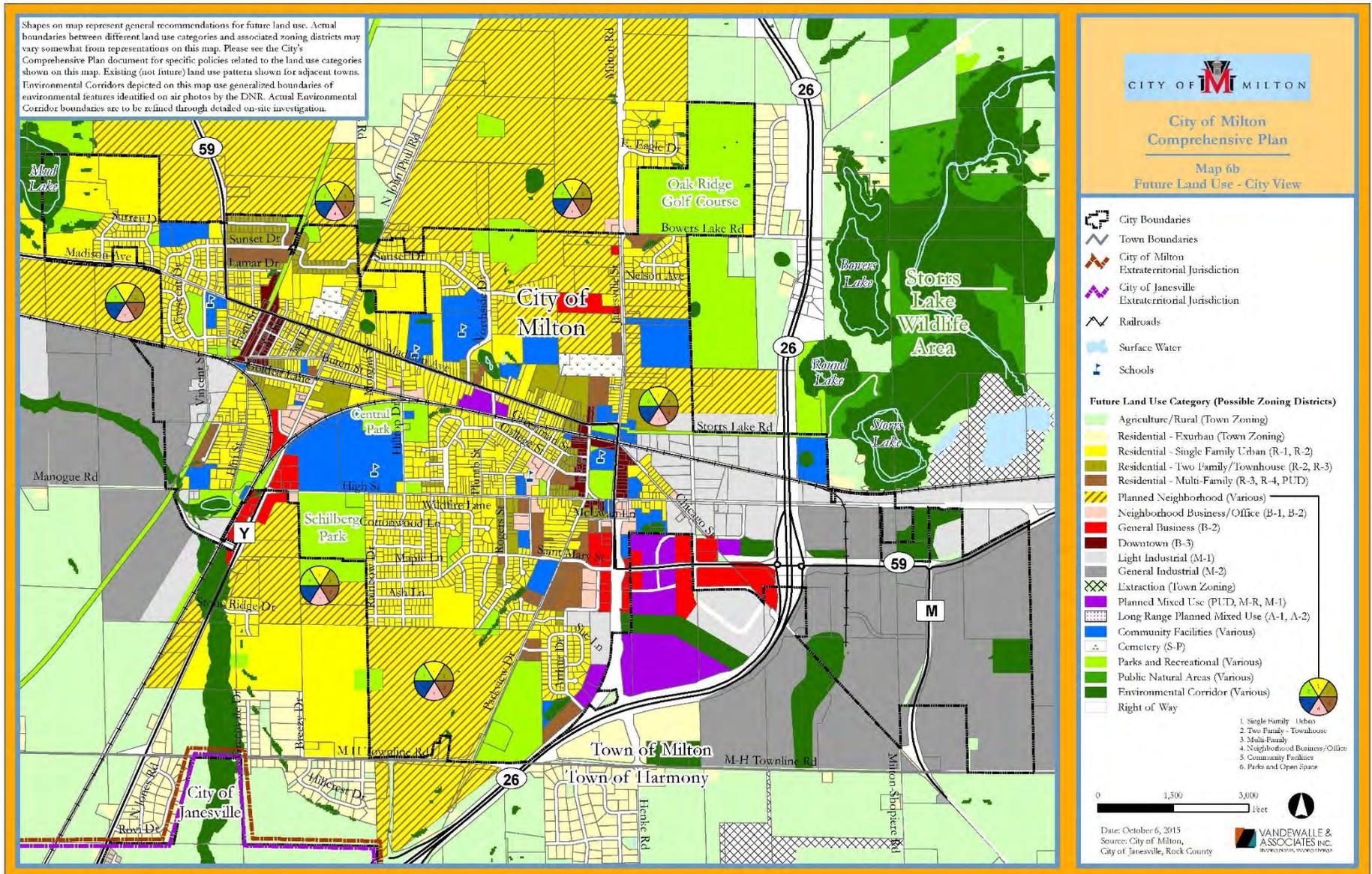
Architecture
Engineering
Interior Design

CONCEPT SITE PLAN

9.4 Comprehensive Plan Map 6a: Future Land Use – ETJ View



9.5 Comprehensive Plan Map 6b: Future Land Use – City View



9.6 Liberty Park Project Description

**CITY OF MILTON
LIBERTY PARK LARGE PARKING AREA
OPINION OF PROBABLE COST**

Liberty Park Large Parking Lot

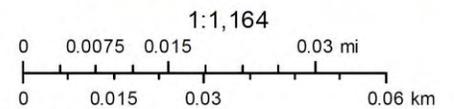
Install approximately 160 x 46 and 170 x 68 parking area to add approximately 50 parking stalls
 One way traffic only entrance S. Clear Lake exit Vincent Street
 Curb and Gutter around the entire perimeter
 4 inch thick HMA
 Remove cul-de-sac and seed, relocate play equipment

ITEM	OPINION OF PROBABLE COST
Excavation, Aggregate Base and Turf Restoration	\$ 68,300
HMA Pavement, Concrete Pavement	\$ 82,800
Relocate Play Equipment	\$ 5,000
Traffic Control and Protection	\$ 1,900
CONSTRUCTION TOTAL	\$158,000
ENGINEERING AND CONTINGENCIES	\$32,000
PROJECT TOTAL	\$190,000



September 30, 2020

□ Parcels



Rock County Real Property Lister

9.7 Urban Forest Proposal, 240 N. Janesville Street

To: City Administrator Al Hulick
From: Ald. Larry Laehn
Date: August 7, 2020
Re: Revised Urban Forest Proposal

Introduction

A couple of years ago, I presented a proposal, as part of community development and strategic planning, to develop an Urban Forest in the City of Milton. At that time, I recommended the project would be located along N Janesville Street. The eventual de-commissioning of the existing Fire Station and the more central location of this property, makes this location much better suited for an Urban Forest in our community.

Objectives

- Establish an “Urban Forest” that improves the city’s air and water quality.
- Utilize a central-city property to increase the community’s recreational and educational opportunities for residents and visitors.
- Provide a bike station, benches and picnic tables for bicyclists/ hikers.

Concept

- The proposed project would begin after new Fire Station is constructed.
- Phase I would be removal of parking lot, DPW building on the property.
- Phase II would be removal or renovation of old Fire Station.
- Phase III would be planting one specimen of the following southern Wisconsin native trees:

Red Pine Few insect or disease problems, 100+ year lifespan

White Pine Responds to regular trimming, 200+ year lifespan

Quaking Aspen Wildlife habitat, 70 year lifespan

River Birch 70 year lifespan

Sugar Maple WI State Tree, 100+ year lifespan

Red Maple 80 year lifespan

Bur Oak Wildlife habitat, 100+ year lifespan

Red Oak Wildlife habitat, 100+ year lifespan

White Oak Wildlife habitat, 100+ year lifespan

- Phase IV would be installing a meandering pathway, picnic tables, benches and a bike station. Trees would be planted along a meandering pathway.

Implementation

Project could be carried out over 2-3 years. Overall coordination could be carried out by Parks and Recreation Commission or a citizen appointed committee. Funding would be a combination of Parks funds, grants, cash donations and in-kind material and labor donations. Donor bricks, benches and trees could be donated by community residents, businesses and not for profit organizations.