



AGENDA  
City of Milton  
Virtual Plan Commission Meeting  
October 6, 2020  
4:00 pm

**PLEASE NOTE: In-person attendance by members of the public is temporarily discouraged due to COVID-19 physical distancing protocols pursuant to the Rock County Health Department Reopening Phased Plan, dated May 21, 2020, which discourages public gatherings. Members of the public may monitor this meeting at: <https://us02web.zoom.us/j/85337273193?pwd=YWptSkIwZytOUFlyd2grdzhBSkExQT09>**

**Any person who is unable to access the meeting via the internet link may call 1(312) 626-6799 to monitor the meeting via telephone.**

**Meeting ID: 853 3727 3193**

**Passcode: 486472**

1. Call to Order
2. Approval of Agenda
3. Approval of Plan Commission Meeting Minutes - September 1, 2020

Documents:

[Plan Commission Minutes 09-01-2020.pdf](#)

4. Public Hearing, Discussion and Possible Action Regarding a Conditional Use Permit and Site Plan for 401K Properties Located at 645 College Street

Documents:

[Memo - 401k Properties - Site Plan Review.pdf](#)

[CUP Application - 401K Properties.pdf](#)

[CUP Request Letter - 401K Properties.pdf](#)

[401k Properties - Site Plan Application.pdf](#)

[401K Properties Findings of Fact.pdf](#)

[TLC-DRAWINGS 6-18-20.pdf](#)

[TLC-RENDERINGS 3-11-2020.pdf](#)

[TLC-SITE PLAN 3-12-20.pdf](#)

[Notice of Public Hearing - 401K Properties.pdf](#)

5. Discussion and Possible Action Regarding a Site Plan for DQ Grill and Chill Located on Gateway Drive

Documents:

[Memo - Dairy Queen - Site Plan Review.pdf](#)

[2020-08-18 Capital Asset amendment.pdf](#)  
[2020-09-01 DAIRY QUEEN SITE LIGHTING.pdf](#)  
[2020-09-01 DQ Milton WI\\_A3.1 building views.pdf](#)  
[2020-09-01 image of sample building materials.jpeg](#)

**6. General Items**

**7. Next Meeting ~ October 20, 2020**

**8. Motion to Adjourn**

\*\*Please note that upon reasonable notice, at least 48 hours in advance, efforts will be made to accommodate the needs to disabled individuals through appropriate aids and services. For additional information to request this service, please contact the City Clerk's office at 868-6900, 710 S. Janesville Street, Milton, WI 53563.

Posted by Leanne Schroeder October 2, 2020 at Dave's Ace Hardware, Piggly Wiggly, Milton City Hall.

\*\*Notice is hereby given that a majority of the Common Council may be present at this meeting at the above mentioned date and time to gather information about a subject over which they have decision-making responsibility. This constitutes a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis. 2d 553, 494 N.W. 2d 408 (1993) and must be noticed as such, although the City Council will not take any formal action at this meeting.

**City of Milton  
Plan Commission  
September 1, 2020**

**Call to Order**

City Administrator Al Hulick called the September 1, 2020 meeting of the Plan Commission to order at 4 p.m.

Present: Ald. Larry Laehn, Public Works Director Howard Robinson, Ethel Himmel, Dave Ostrowski, Frank Green

Also Present: City Administrator Al Hulick, City Engineer Mark Langer, and Administrative Services Director Inga Cushman.

Comm. Director Robinson nominated Comm. Ostrowski to serve as the chairperson for the September 1, 2020 meeting of the Plan Commission. Ald. Laehn seconded, and the motion carried.

**Approval of Agenda**

Comm. Ald. Laehn motioned to approve the agenda. Comm. Himmel seconded, and the motion carried.

**Approval of Plan Commission Meeting Minutes - July 7, 2020**

Comm. Himmel motioned to approve the minutes. Comm. Director Robinson seconded, and the motion carried.

**Discussion and Possible Action Regarding a Site Plan request from Scott Murray for a parking lot expansion at 619 College Street.**

Comm. Ald. Laehn motioned to approve the site plan request from Scott Murray for a parking lot expansion at 619 College Street with the contingency of creating a lawn area rather than paved with hashmarks in the “no parking” space at the entrance of the parking lot. Comm. Himmel seconded, and the motion carried.

**Discussion and Action Regarding a 2-Lot Extraterritorial Certified Survey Map Along North Bowers Lake Road**

Comm. Ostrowski motioned to approve the 2-Lot Certified Survey Map along North Bowers Lake Road in the Town of Milton. Comm. Director Robinson seconded, and the motion carried.

**Discussion and Action Regarding a 2-Lot Extraterritorial Certified Survey Map Along North McWilliam Lane**

Comm. Himmel motioned to approve the proposed 2-Lot Certified Survey Map along North McWilliam Lane in the Town of Harmony. Comm. Ald. Laehn seconded, and the motion carried.

**Discussion and Action Regarding a 4-Lot Extraterritorial Certified Survey Map Along North Kennedy Road**

Comm. Himmel motioned to approve the proposed 4-Lot Certified Survey Map along North Kennedy Road in the Town of Milton. Comm. Ostrowski seconded, and the motion carried.

**Discussion and Action Regarding a Transfer of Land Along North Vickerman Road**

Comm. Ald. Laehn motioned to approve the proposed land transfer along North Vickerman Road in the Town of Milton. Comm. Himmel seconded, and the motion carried.

**General Items**

There were no general items.

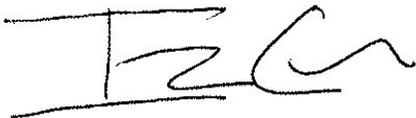
**Next Meeting ~ September 15, 2020**

The next meeting of the Plan Commission will take place on September 15, 2020 at 4 p.m.

**Motion to Adjourn**

Comm. Himmel motioned to adjourn the September 1, 2020 meeting of the Plan Commission at 4:21 p.m. Comm. Director Robinson seconded, and the motion carried.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'IC' followed by a stylized flourish.

Inga Cushman  
Administrative Services Director



## Department of Public Works

**To:** Mayor Welch, Milton Plan Commission  
**From:** Howard Robinson, Director of Public Works  
**Date:** October 6, 2020  
**Subject:** Public Hearing, Discussion and Possible Action Regarding a Site Plan Review and a Conditional Use Permit for 401k Properties Located at 645 College Street.

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### Summary

401k Properties has submitted a site plan and Conditional Use Permit Application for 645 College Street. The lot is zoned B-3. The Conditional Use Permit request is to allow auto sales, and is required per Sec 78-723(5). Sales are planned to be indoors in a show room environment. The owner has sent a letter explaining his request. The auto parts sales portion is a permitted use in B-3. A Findings of Facts form is included. We have not received concerns about this request from the notified neighboring properties. The site plan meets requirements for B-3 zoning. The rendering picture with colors is the color pattern for the improvements. The site plan by Design Alliance is the actual building layout.

### Recommendation

City staff recommends approval of the site plan and the Conditional Use Permit to allow for auto sales at 645 College Street.



# City of Milton Application and Record

Application Date: 9-6-20  
 Applicant Name/Agent: Robert G. Rippberger  
 Owner of Property: Robert & Denise Rippberger  
 Business Name: 401K PROPERTIES  
 Address: 645 COLLEGE ST.  
 City/State/Zip: MILTON, WI 53563  
 Telephone: (608) 981-9531  
 Email: Rip@TLC RESTORATIONS.COM

Date to be Reviewed by Plan Commission: 10/6  
 Date to be Reviewed by Common Council: 10/6  
 Date to be Reviewed by Zoning Board of Appeals: \_\_\_\_\_

| Fee Required:                   | Date Paid     |
|---------------------------------|---------------|
| Conditional Use Permit \$250.00 | <u>9/8/20</u> |
| Rezoning \$250.00               |               |
| Variance \$250.00               |               |

Reason for Request/Appeal or Reason Permit was Refused: \_\_\_\_\_  
Conditional Use Permit to sell Autos  
 \_\_\_\_\_  
 \_\_\_\_\_

### Property Location for Project

Address: 645 COLLEGE ST., MILTON, WI 53563

Legal Description: \_\_\_\_\_  
 \_\_\_\_\_

Description of Premise (Including Existing and Proposed Buildings): \_\_\_\_\_  
 \_\_\_\_\_

Current Zoning: (circle one) A1 A2 B1 B2 B3 C1 C2 M1 M2 MR R1 R2 R3 R4 PUD SP

Proposed Zoning: (circle one) A1 A2 B1 B2 B3 C1 C2 M1 M2 MR R1 R2 R3 R4 PUD SP

Present Use: NONE

Proposed Use: Auto sales

Present Occupancy: NONE Proposed Occupancy: AUTO

Name of Proposed Subdivision: N/A

Surveyor's Name: N/A Address: SAME AS ABOVE

Property Lot Size: \_\_\_\_\_ (square feet or acres)

Lot Size of Preliminary Land Division: \_\_\_\_\_ Lot Size of Final Land Division: \_\_\_\_\_

Building Setback Front: \_\_\_\_\_ Side: \_\_\_\_\_ Rear: \_\_\_\_\_

Building Setback Corner: \_\_\_\_\_ Side: \_\_\_\_\_ Rear: \_\_\_\_\_

Number of Stories: \_\_\_\_\_ Number of Rooms: \_\_\_\_\_ Height: \_\_\_\_\_

Architect: \_\_\_\_\_ General Contractor: \_\_\_\_\_

Off Street Parking: \_\_\_\_\_ Number of Stalls: \_\_\_\_\_

Estimated Cost of Work: \$0 no changes for CUP

The undersigned hereby agrees that the foregoing information is true and accurate, and that if this permit or request is granted, all work will be done in accordance with this application and all the Ordinances of the City of Milton.

Applicant Signature: *Robert E. Ripberger*

Print Name: Robert E. Ripberger

Recommendations by Director of Public Works: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Filed this 8 day of September, 2020

*Howard Robinson*  
Director of Public Works / Building Inspector, Howard Robinson

*Leanne Schroeder*  
City Clerk, Leanne Schroeder

Publication Date: 9/17, 9/24

401k Properties, LLC  
635 Greenman Street  
Milton, WI 53563  
(608) 931-9531

DATE: September 15, 2020  
TO: Plan Commission  
FROM: Robert "Rip" & Denise Rippberger

My wife and I own TLC Restorations, LLC and 401k Properties, LLC. Our goal with 401k Properties is to buy/rent/lease/sell either business or residential properties. We are going to target low value properties with the intent of investing in them for a greater return. Many of these properties may be in TIF areas.

Our goal for this property is to own and rent to ourselves at this point. This will be a "new" business model for us and not part of core business. i.e. TLC Restorations, LLC.

Our business model will not be your traditional Auto Supply Parts. i.e. Napa or Bumper to Bumper. We will be selling the parts, equipment and tools that are used in our core business model with TLC Restorations. We currently have over a dozen manufactures that we represent and sell parts, equipment and tools for. Last year we sold over \$200k in parts, equipment and tools. We will market and sell these items to the general public. In addition to parts, equipment and tools, we are going to sell "Day 2" race parts.

Let me expand on Day 2 race parts. Back in the 60's and early 70's, young adults were buying brand new Chevelle's, Camaro's and modifying them the next day with headers, mag wheels, cams, etc... All of these modifications were made to make their cars faster! Back in the day, you bought these parts at a Speed Shop. Hence Day 2. In my current market of business, this is very commonly known and needs no explanation. Many car shows and events are now tailored to Day 2. As a matter of fact, we've taken GOLD Concours awards for having the best in the country Day 2 builds!

Our goal is to build the best Speed Shop in the country selling new parts, equipment and tools. How are we going to do this? We're going to start with having an old school building that looks new and inviting. How do we make it look new and inviting to show case our products? We install windows, doors and garage doors to open the place up! Currently we bring people into TLC Restorations from all over the country. Over half of our business is from out of state. We are going to capitalize on our current market and expand it into sales of parts, equipment and tools. Daily we have people driving to TLC Restorations just for a tour of our facilities. Each of these tours are the perfect opportunity for another sale!

Why not sell cars? We have a large part of this market already captured with our core business. This building lends itself very well to selling cars as the original building was built for implement sales. With a few changes, and some needed improvements, it will make a great showroom for vehicles. It's all about the presentation in our business. All vehicles and products will be kept indoors. No outside inventory.

Thanks,  
Rip



635 GREENMAN STREET • MILTON, WI 53563  
608-931-9531 • www.TLCRestorations.com

**PURPOSE:** Make repairs to old building. Replace roof to stop leaking. Replace damaged bricks. Repair cracks. Replace boarded windows on the original 2 story building with new windows on the second level. Brick in the already boarded windows on the lower level on the east side and replace lower windows with garage doors on the west side. On the 40'x40' addition on the back, we'll brick in the windows that are boarded. No addition plans. On the print we show lights on the outside. On the print we show tin covering the brick on the top. These are future plans and not part of this request.

**APPLICATION PER SEC. 78-272:**

- #1 Parcel dimensions, lines and area. **(No changes to the existing)**
- #2 Existing and proposed buildings and structures and their proposed uses, along with required minimum building setbacks in zoning district.

**PROPOSED USE:**

Our business model will be selling auto parts and tools. However, it will not be your traditional Auto Supply Parts. i.e. Napa or Bumper to Bumper. We will be selling the vintage parts, equipment and tools. Our goal is to build the best Speed Shop in the country selling vintage parts, equipment and tools.

**SETBACKS IN THE ZONING DISTRICT:**

- #3 Walls, fences, plantings, recreational facilities, etc.... **(No changes to the existing)**
- #4 Off-street parking... **(No changes to the existing)**
- #5 Points of ingress and egress... **(No changes to the existing)**
- #6 Off-street loading... **(No changes to the existing)**
- #7 Trash container, location and screening **(No trash outside)**
- #8 Location, design, and size of signs **(Noted on plan)**
- #9 Exterior lighting... **(No changes to the existing)**
- #10 Street and sidewalk improvements... **(No changes to the existing)**
- #11 Existing and proposed grading and drainage.... **(No changes to the existing)**  
(Plan shows lights. This will be a later upgrade)
- #12 Locations, materials, and sizes of sanitary.... **(No changes to the existing)**
- #13 Architectural drawings or sketches, indicating building floor plans and exterior Elevations of all sides of new buildings and additions... **(No changes to the existing)**  
(After repairs are completed, we'll paint the building grey like it is currently. Plan shows metal structure going on top of the exterior walls. This may be a later upgrade and not part of this request.)
- #14 Erosion control plan. **(No changes to the existing)**
- #15 Weed control plan... **(No changes to the existing)**
- #16 In the B-3 district, a clear depiction of the existing and proposed property configuration And/or building appearance..... **(No changes to the existing)**

- #17 Outdoor storage areas.....
- #18 Wetlands, floodplains, and shoreland...
- #19 Any other data as required.....

**(No changes to the existing)**  
**(No changes to the existing)**  
**(Noted on plan)**

**Thank you,  
Rip**

**Robert G. Rippberger  
TLC Restorations, LLC  
635 Greenman St.  
Milton, WI 53563  
608-931-9531**

**CITY OF MILTON  
PLAN COMMISSION – BUSINESS AND MANUFACTURING ZONING**

**Conditional Use Permit Findings of Fact**

Applicant Name: 401K PROPERTIES (circle one) Property Owner Tenant

Property Address: 645 COLLEGE ST. Please note: if applicant is Tenant of said property, written authorization for this Conditional Use Permit request must be submitted as an attachment.

Conditional Use Permit Request: Auto sales

Applicable Ordinance Section: 78-723 (5) Zoning of Property: B3

Plan Commission Public Hearing Date: \_\_\_\_\_

*Please note: Attendance at the Plan Commission public hearing is required in the case of additional questions or submission of additional findings that pertain to the Conditional Use Permit request.*

.....  
This Findings of Fact is intended to document compliance with the provisions of Sec. 78-91(b), which states that:

*Prior to approval or denial by the common council, the plan commission shall review the applicable facts pertaining to the proposed conditional use as found in this division and shall recommend approval or denial of the conditional use after public hearing and consideration of the purpose and intent of the district, the purpose and intent of this chapter, the standards applicable to conditional uses in this division, the standards for evaluating conditional uses enumerated in division 6 of this article, and the performance standards enumerated in division 2, article IV of this chapter.*

The Plan Commission has considered the standards described below in light of the evidence and testimony presented by the applicant and the public regarding the CUP request. If these Conditional Use Permit Findings of Fact are approved by the Plan Commission, they shall be incorporated into its decision to recommend approval or denial of the CUP application, including any changes adopted by the Commission.

.....  
**II. THE PURPOSE AND INTENT OF THIS CHAPTER.**

Pursuant to sec. 78-3, the purpose of Chapter 78 is to:

- a. Promote the comfort, health, safety, morals, prosperity, aesthetics and general welfare of this community;
- b. Regulate and restrict the use of all lands and waters;
- c. Regulate and restrict the height, number of stories and size of buildings and other structures, the percentage of lot that may be occupied, the size of yards, courts and other open spaces, the density of population, and the location and use of buildings, structures and land for trade, industry, residence or other purposes;
- d. Further the appropriate use of land and conservation of natural resources;
- e. Stabilize and protect property values;
- f. Preserve and promote the beauty of the community;
- g. Preserve productive and historic agricultural soils; and
- h. Implement the community's master plan or plan components.

### III. THE STANDARDS APPLICABLE TO CONDITIONAL USES IN THIS DIVISION.

These standards are described in sec. 78-93 as follows:

- a. The location, nature and size of the proposed use.
- b. The size of the site in relation to it.
- c. The location of the site with respect to existing or future roads giving access to it.
- d. Its compatibility with existing uses on land adjacent thereto.
- e. Its harmony with the future development of the district.
- f. Existing topography, drainage, soils types, and vegetative cover.
- g. Its relationship to the public interest, the purpose and intent of Chapter 78 and substantial justice to all parties concerned

### IV. THE STANDARDS FOR EVALUATING CONDITIONAL USES ENUMERATED IN DIVISION 6 OF THIS ARTICLE.

Division 6 of Article II contains sections 78-181 through 78-187.

#### a. **Sec. 78-182. Site design and physical characteristics.**

Site design and physical characteristics to be considered are as follows:

- (1) Existing topography, drainage patterns and vegetative cover and the suitability of the proposed use in this regard.
- (2) Availability of water, sewer, rail and other services and the utility requirements of the proposed site.
- (3) Where public sewers are not available, the percolation characteristics of the soil.
- (4) Adequacy of the proposed internal circulation system, including safety consideration.
- (5) Access to sites from the internal circulation system.
- (6) The costs of providing various public services.
- (7) Appearance--how the area will look.

#### b. **Sec. 78-183. Site location relative to the public road network.**

Site location considerations relative to the public road network shall be as follows:

- (1) Convenient access to a public road network--safety of access points.
- (2) Visibility from the proposed road and the need for visibility.
- (3) Location to provide access primarily by righthand turning movements.

#### c. **Sec. 78-184. Land use.**

Land use considerations include the following:

- (1) Compatibility with existing or proposed uses and population density in the area.
- (2) Relation to any existing or proposed development at nearby interchanges.
- (3) Relation to recommendations in existing land use or comprehensive plans.

#### d. **Sec. 78-185. Traffic generation.**

Traffic generation considerations shall be as follows:

- (1) Amount of daily and peak-hour traffic to be generated, related to site size; traffic to be subclassified as to arterial, collector and local streets.
- (2) Amount of traffic generated relative to existing and anticipated ultimate generated traffic in the area.

- (3) Expected composition of site-generated traffic by vehicle types.
- (4) Effect of site-generated traffic on the operation of the area.
- (5) Safety and convenience to future users.

**e. Sec. 78-186. Community effects.**

Community effects to be considered shall be as follows:

- (1) Immediate and long range tax base.
- (2) Access to market and service area.
- (3) Relation to scenic or recreation values.
- (4) Relation to the public interest, the purpose and intent of this chapter and substantial justice to all parties concerned.
- (5) Compliance with the comprehensive (master) plan's goals and objectives.
- (6) Relation of the project density to population density in the surrounding area.

**f. Sec. 78-187. Other relevant factors.**

Other relevant factors are as follows:

- (1) The performance standards in division 2, article IV of this chapter.  
See Section V of these Conclusions and Findings of Fact.
- (2) Additional impacts.

**Findings:**

*Not Applicable for the Proposed Use*

*Compliance with this Section Shall be Demonstrated with Site Plan Submittal*

*Comments:* \_\_\_\_\_

**V. THE PERFORMANCE STANDARDS ENUMERATED IN DIVISION 2, ARTICLE IV OF THIS CHAPTER.**

Division 2, Article IV of Chapter 78 contains performance standards listed in Ordinance Sections 78-1052 through 78-1149. Section 78-1051 states that "no structure, land, or water shall hereafter be used except in compliance with their district regulations and with the performance standards of this division."

**Subdivision I**

**a. Sec. 78-1052. Air pollution.**

No activity shall emit any fly ash, dust, fumes, vapors, mists or gases in such quantities as to cause soiling or danger to the health of persons, animals, vegetation or other forms of property. No activity shall emit any liquid or solid particles in concentrations exceeding 0.3 grains per cubic foot of the conveying gas nor any color visible smoke equal to or darker than No. 2 on the Ringelmann chart described in the United States Bureau of Mine's Information Circular 7719.

**b. Sec. 78-1053. Fire and explosive hazards.**

All activities involving the manufacturing, utilization, processing or storage of inflammable and explosive materials shall be provided with adequate safety devices against the hazard of fire and explosion and with adequate firefighting and fire suppression equipment and devices that are standard in the industry. All materials that range from active to intense burning shall be manufactured, utilized, processed and stored only in completely enclosed buildings which have

incombustible exterior walls and an automatic fire extinguishing system. The aboveground storage capacity of materials that produce flammable or explosive vapors shall not exceed the following:

|                                       |         |
|---------------------------------------|---------|
| Closed cup flashpoint                 | Gallons |
| Over 187 degrees Fahrenheit           | 400,000 |
| 105 degrees to 187 degrees Fahrenheit | 200,000 |
| Below 105 degrees Fahrenheit          | 100,000 |

**c. Sec. 78-1054. Glare and heat.**

No activity shall emit glare or heat that is visible or measurable outside its premises except activities in the M-2 industrial district which may emit direct or sky reflected glare which shall not be visible outside their district. All operations producing intense glare or heat shall be conducted within a completely enclosed building. Exposed sources of light shall be shielded so as not to be visible outside their premises.

**d. Sec. 78-1055. Liquid or solid wastes.**

No activity shall discharge at any point onto any land or into any water or public sewer any materials of such nature, quantity, noxiousness, toxicity or temperature which can contaminate, pollute or harm the quantity or quality of any water supply, can cause the emission of dangerous or offensive elements, can overload the existing municipal utilities or can injure or damage persons or property.

**e. Sec. 78-1056. Noise.**

(a) No activity shall produce a sound level that is audible outside the M-1 or M-2 district boundaries which exceeds the following sound level measured by a sound level meter and associate octave band filter:

| Octave Band Frequency (cycles per second) | SoundLevel (decibels) |
|---|-----------------------|
| 0 to 75                                   | 79                    |
| 75 to 150                                 | 74                    |
| 150 to 300                                | 66                    |
| 300 to 600                                | 59                    |
| 600 to 1,200                              | 53                    |
| 1,200 to 2,400                            | 47                    |
| 2,400 to 4,800                            | 41                    |
| Above 4,800                               | 39                    |

(b) No activity in any other district shall produce a sound level outside its premises that exceeds the following:

| Octave Band Frequency (cycles per second) | SoundLevel(decibels) |
|---|----------------------|
| 0 to 75                                   | 72                   |
| 75 to 150                                 | 67                   |
| 150 to 300                                | 59                   |
| 300 to 600                                | 52                   |
| 600 to 1,200                              | 46                   |
| 1,200 to 2,400                            | 40                   |
| 2,400 to 4,800                            | 34                   |
| Above 4,800                               | 32                   |

- (c) All noise shall be so muffled or otherwise controlled as not to become objectionable due to intermittence, duration, beat frequency, impulse character, periodic character or shrillness.

**f. Sec. 78-1057. Odors.**

No activity shall emit any odorous matter of such nature or quantity as to be offensive, obnoxious or unhealthful outside their premises. The guide for determining odor measurement and control shall be Wis. Admin. Code § NR 154.18. Agriculture odors associated with normal agricultural activities are exempted from this section.

**g. Sec. 78-1058. Radioactivity and electrical disturbances.**

No activity shall emit radioactivity or electrical disturbances outside its premises that are dangerous or adversely affect the use of neighboring premises.

**h. Sec. 78-1059. Vibration.**

No activity in any district except the M-2 industrial district shall emit vibrations which are discernible without instruments outside its premises. No activity in an M-2 industrial district shall emit vibrations which exceed the following displacement measured with a three-component measuring system:

| Frequency (cycles per second) | Outside the Premises | Outside the District |
|-------------------------------|----------------------|----------------------|
| 0 to 10                       | 0.0020               | 0.0004               |
| 10 to 20                      | 0.0010               | 0.0002               |
| 20 to 30                      | 0.0006               | 0.0001               |
| 30 to 40                      | 0.0004               | 0.0001               |
| 40 to 50                      | 0.0003               | 0.0001               |
| 50 and over                   | 0.0002               | 0.0001               |

**i. Sec. 78-1060. Water quality protection.**

- (a) No activity shall locate, store, discharge or permit the discharge of any treated, untreated or inadequately treated liquid, gaseous or solid materials of such nature, quantity, obnoxiousness, toxicity or temperature that would be likely to run off, seep, percolate or wash into surface or subsurface waters so as to contaminate, pollute or harm such waters or cause nuisances such as objectionable shore deposits, floating or submerged debris, oil or scum, color, odor, taste or unsightliness or be harmful to human, animal, plant or aquatic life.
- (b) In addition, no activity shall discharge any liquid, gaseous or solid materials so as to exceed or contribute toward the exceeding of the minimum standards and those other standards and the application of those standards set forth in Wis. Admin. Code ch. NR 102 for all navigable waters.

**Findings:**

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: \_\_\_\_\_

## **Subdivision II. Outdoor Trash and Garbage Storage**

### **j. Sec. 78-1081. Subdivision provisions to be met.**

The requirements of this subdivision shall be met for outdoor trash and garbage storage, except where residential (curbside) service is provided.

### **k. Sec. 78-1082. Purpose.**

The purpose of this subdivision is to protect and improve community appearance, prevent the creation of nuisances and health hazards, and improve the quality of life in the city.

### **l. Sec. 78-1083. Required access plan.**

Where a site plan is required for any project under division 8, article II of this chapter, any and all proposed outdoor trash and garbage storage on the subject property shall be depicted as to their location, configuration, and screening on the site plan.

### **m. Sec. 78-1084. Trash dumpster and garbage receptacle enclosure required.**

All garbage cans, trash dumpsters, trash containers, and other storage devices situated on any property shall be closed containers with lids. Where such containers are located outside a building, they shall be completely concealed or screened from public view through opaque fencing and gates, supplemented by screen landscaping. Such fence enclosure shall be constructed of materials compatible with the materials on the front building wall of the main building. No portion of the lot shall be used for open or unenclosed storage of trash or waste of any kind.

### **n. Sec. 78-1085. Trash dumpster and garbage receptacle maintenance required.**

Fencing and landscaping for storage areas shall be maintained in good condition and kept litter-free. All garbage cans, trash containers, and other garbage storage devices shall be emptied and the contents thereof properly disposed.

### **o. Sec. 78-1086. Trash dumpster and garbage receptacle location in off-street parking space or drive.**

No trash dumpster or other trash or waste receptacle shall be permitted in any off-street parking space or drive.

### **p. Sec. 78-1087. Concrete slab required.**

All outside trash dumpsters and garbage receptacles shall be placed upon a concrete slab that has a thickness of not less than five inches.

### **q. Sec. 78-1088. Adequate size to accommodate recycling materials.**

All trash dumpster and garbage receptacle areas shall be of an adequate size to accommodate the storage of materials to be recycled.

**Findings:**

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments:

*No outside trash is planned*

**Subdivision III. Outdoor Lighting Standards**

**r. Sec. 78-1111. Purpose.**

The purpose of this subdivision is to provide for adequate and safe lighting of private property, while limiting light spillover and glare onto adjacent properties and public streets. Such limitations are intended to prevent the creation of nuisances, promote traffic safety, conserve energy, preserve the area's dark sky, and support astronomy activities.

**s. Sec. 78-1112. Applicability of subdivision provisions.**

This subdivision shall be applied to the installation of all new and replacement private outdoor lighting fixtures. Outdoor lighting fixtures legally installed prior to the effective date of the ordinance from which this subdivision is derived shall not be required to comply with these outdoor lighting standards; however, any replacement of such lighting fixtures shall comply with all outdoor lighting standards as set forth in this subdivision.

**t. Sec. 78-1113. Required lighting plan.**

Where a development requires site plan review under division 8, article II of this chapter, all outdoor lighting fixtures shall be depicted and described on the required site plan or on a separate lighting plan. Depending on the complexity of the proposal or projected impact of lighting, the city may also require the following information:

- (1) A catalog page, cut sheet, or photograph of the outdoor lighting fixtures, including the mounting method and light cutoff angles.
- (2) A photometric plot plan, drawn to the same scale as the site plan, and indicating the location of all lighting fixtures proposed, mounting and/or installation height in feet, the average illumination level (in footcandles) within the parking lot, and illumination levels at regular intervals around the site and at property lines.

**u. Sec. 78-1114. Maximum luminaire height.**

The maximum permitted luminaire height shall be 35 feet in all nonresidential zoning districts, and 25 feet in all residential districts. The height of both the pole and base shall be considered in the measurement of luminaire height. In no instance shall an outdoor lighting fixture in a nonresidential zoning district be mounted or oriented such that the lighting element is visible from a property in a residential district.

**v. Sec. 78-1115. Maximum illumination levels.**

Average illumination levels within parking lots shall not exceed one footcandle within residential districts, and three footcandles within all other districts. The illumination level at any property line shall not exceed 0.5 footcandles above the ambient lighting conditions on a

cloudless night where the property adjoins land in a residential district, and two footcandles above the ambient lighting conditions on a cloudless night where the property adjoins land in any other zoning district. The plan commission may agree to allow greater lighting levels based on specific and reasonable written justification provided by the applicant, provided that the purpose of this subdivision is not compromised.

**w. Sec. 78-1116. Use of shielded light fixtures.**

All outdoor lighting fixtures shall be shielded as defined in section 78-1, except incandescent fixtures of 150 watts or less, other sources of 70 watts or less, lighting within public street rights-of-way, and lighting required for a specialized security or safety purpose. No searchlights shall be permitted.

**x. Sec. 78-1117. Types of light source.**

All outdoor lighting fixtures shall have high pressure sodium (HPS), low pressure sodium (LPS), incandescent, fluorescent or comparable light sources, except that in cases where true color rendition is required (including display lots and certain outdoor recreational uses), white lights such as metal halide shall be permitted. No new mercury vapor lighting fixtures shall be installed, and no replacement equipment or bulbs for pre-existing mercury vapor lighting fixtures shall be installed. No flickering or flashing lights shall be permitted, except low wattage seasonal lighting between November 1 and January 31 and lighting required for a specialized security or safety purpose.

**y. Sec. 78-1118. Location.**

No exterior light fixture shall be located within any required landscape bufferyard or within three feet of any property line except accent lights not exceeding 150 watts for incandescent fixtures or 70 watts for other fixtures.

**z. Sec. 78-1119. Hours of illumination.**

Within one hour after closing of the store, completion of the final work shift, or completion of specific activities associated with an institutional use, only building mounted security lighting and up to 25 percent of all other outdoor lighting fixtures may remain illuminated. Any use with four or fewer pole or ground-mounted exterior lights shall be exempt from this section.

**aa. Sec. 78-1120. Exterior lighting for outdoor recreational uses.**

Ball diamonds, playing fields, golf driving ranges, tennis courts, parks, and similar outdoor recreational uses may be exempted from one or more of the outdoor lighting standards of this subdivision if approved by the plan commission through site plan review.

**bb. Sec. 78-1121. Street lighting.**

Street lighting shall conform to the standards set forth by the state for state and federal highways, the county for county highways, and the city for city streets and highways.

**Findings:**

*Not Applicable for the Proposed Use*

*Compliance with this Section Shall be Demonstrated with Site Plan Submittal*

Comments: \_\_\_\_\_

---

**Subdivision IV. Vehicular Access Standards**

**cc. Sec. 78-1141. Purpose of subdivision.**

The purpose of this subdivision is to promote the safety and general welfare of the public by alleviating or preventing congestion of public street rights-of-way through minimum public street access requirements applicable to private and public land uses.

**dd. Sec. 78-1142. Permit required.**

Each access point onto a public street or right-of-way shall have a permit issued by the director of public works per Wis. Stats. § 86.07(2).

**ee. Sec. 78-1143. Required access plan.**

Where a site plan is required for any project under division 8, article II of this chapter, any and all proposed access drives on the subject property shall be depicted as to their location and configuration on the site plan.

**ff. Sec. 78-1144. Number of access points.**

(a) Each lot shall have not more than two vehicular access points on any street frontage adjacent to any lot.

(b) In no instance shall any lot be permitted more than one vehicular access point on any one street if its frontage on such street is less than 100 linear feet (as measured along the right-of-way line).

(c) On arterial streets and in certain areas experiencing, or expected to experience, congestion and/or safety problems, access to a lot may be required to be located via an access point located on an adjacent property or another street frontage.

(d) Vehicular access may be further restricted by the state on state and federal highways, and by the county on county highways.

**gg. Sec. 78-1145. Location of access points.**

(a) Residential uses shall not have access points onto a nonresidential collector or arterial street unless such street has the only available frontage.

(b) Nonresidential uses shall not have access points onto a residential street unless such street has the only available frontage.

(c) At its intersection with the street right-of-way line on an arterial or nonresidential collector street, no access point shall be located closer than 100 feet from the intersection of any two street rights-of-way unless such access point is the only available location on the subject property. In all cases, access points shall be located as far from an intersection as the lot size permits.

(d) The minimum distance between vehicular access points serving the same property shall be 25 feet (edge to edge), as measured at the property line. A distance in excess of such 25 feet may be required if, in the opinion of the director of public works, present or projected traffic factors warrant a greater distance.

(e) The distance from an access drive to the property line of an adjacent property shall not be less than five feet, as measured along the right-of-way line, except where shared driveways are expressly allowed.

**hh. Sec. 78-1146. Angle of intersection with public right-of-way.**

All access drives shall intersect with the public street right-of-way at an angle of not less than 75 degrees, and shall intersect at an angle of 90 degrees wherever possible.

**ii. Sec. 78-1147. Width of driveways.**

All access drives shall have a minimum width of ten feet for single-family dwellings, 12 feet for two-family dwellings, and 20 feet for all other land uses. All curb openings for access drives shall have a maximum width of 24 feet per unit for single-family and two-family dwellings, and for all commercial uses the driveway width shall be determined at site plan review, as measured at the right-of-way line. Access drives may be flared between the right-of-way line and the roadway up to a maximum of five additional feet.

**jj. Sec. 78-1148. Traffic control.**

The traffic generated by any use shall be channelized and controlled in a manner which avoids congestion on public streets and other safety hazards. Traffic into and out of all off-street parking, loading and traffic circulation areas serving six or more parking spaces shall be forward moving, with no backing into streets or pedestrian ways. Except in the B-3 district, there shall be no loading or unloading within the public street right-of-way. Traffic control devices shall be required as determined by the director of public works.

**kk. Sec. 78-1149. Paving of access.**

All access approach areas located within a street right-of-way shall be paved to the satisfaction of the director of public works with a hard, all-weather surface, and shall be maintained so as to prevent the transport of gravel, dirt, or other eroded material from the subject property into the public street.

**Findings:**

*Not Applicable for the Proposed Use*

*Compliance with this Section Shall be Demonstrated with Site Plan Submittal*

*Comments:* \_\_\_\_\_

*No planned changes to existing driveway entrances.*

**Additional Conditions of Approval (if applicable):**

*Findings:* \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Final Conclusions/Summary (if applicable):**

*Findings:* \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

.....

**Plan Commission Recommendation:**

Date: \_\_\_\_\_

Approve: \_\_\_\_\_

Deny: \_\_\_\_\_

**Common Council Action:**

Date: \_\_\_\_\_

Approve: \_\_\_\_\_

Deny: \_\_\_\_\_

# TLC RESTORATIONS STORAGE WAREHOUSE

645 College Street, Milton, WI 53563

DRAWING INDEX:  
 SP-1 SITE PLAN, DRAWING INDEX  
 A-1 MAIN FLOOR PLAN, UPPER FLOOR PLAN,  
 LEGEND  
 A-2 ELEVATIONS  
 A-3 ADA DETAILS, BOND BEAM DETAILS

PROJECT DESCRIPTION:  
 EXISTING STORAGE / BUSINESS BUILDING TO  
 HAVE OVERHEAD DOORS ADDED AND  
 RESTROOM REMODELED TO ADA COMPLIANCE.

BUILDING INFORMATION:  
 CONSTRUCTION TYPE: TYPE IIB  
 BUILDING FOOTPRINT: 4,582 S.F.  
 ALTERED AREA: 200 S.F.  
 NO. OF FLOORS: 2  
 OCCUPANCY GROUP: S-1 / B  
 SPRINKLERED: NONE

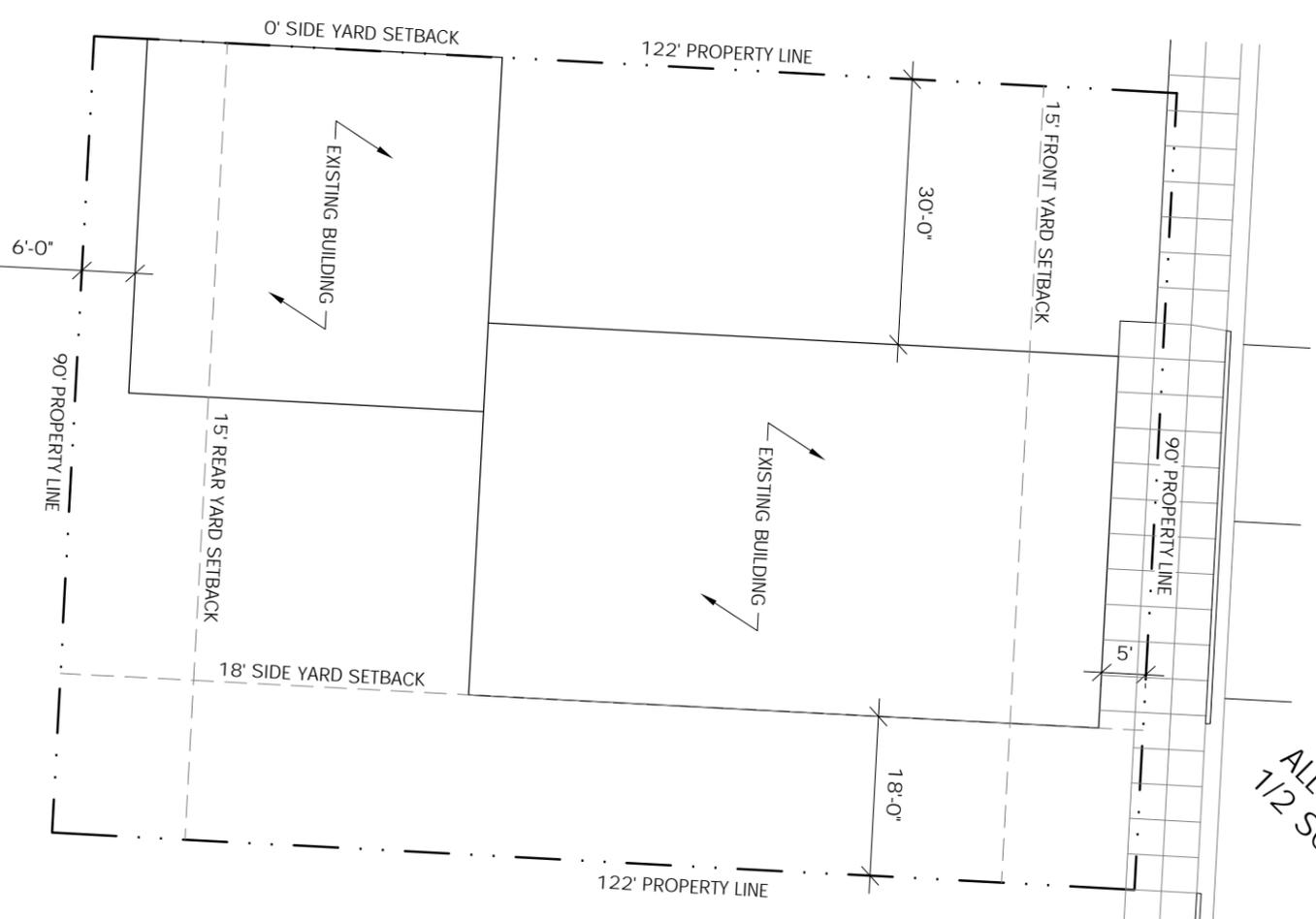
IEBC LEVEL II ALTERATION

**PLAN REVIEW NOTE:**  
 HEATING / THERMAL PERFORMANCE:  
 THIS EXISTING BUILDING IS ONLY BEING KEPT  
 HEATED TO JUST ABOVE FREEZING.

VERIFY ALL CONDITIONS AND DIMENSIONS ON  
 THE JOB AND NOTIFY THE DESIGN ALLIANCE  
 ARCHITECTS, INC. OF ANY DISCREPANCIES  
 PRIOR TO START.

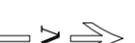
COLLEGE STREET

ALL DRAWINGS ARE  
 1/2 SCALE SHOWN



20  
 SPT  
 SCALE: 1" = 10'-0"  
 2020TLC STORAGE WAREHOUSE/TLC SW-DRAWINGS.DWG  
 DATE: MARCH 9, 2020

SITE PLAN



TLC RESTORATIONS  
 STORAGE WAREHOUSE  
 645 College Street  
 Milton, WI 53563

**the Design Alliance**  
 Architects, Inc.

1003 Madison Avenue  
 Fort Atkinson, WI

(920) 563-3404

DRAWING NAMES

SITE PLAN

DRAWING INDEX

REVISIONS

PROJECT DATA

DATE: 6/18/2020

DRAWN BY: CL

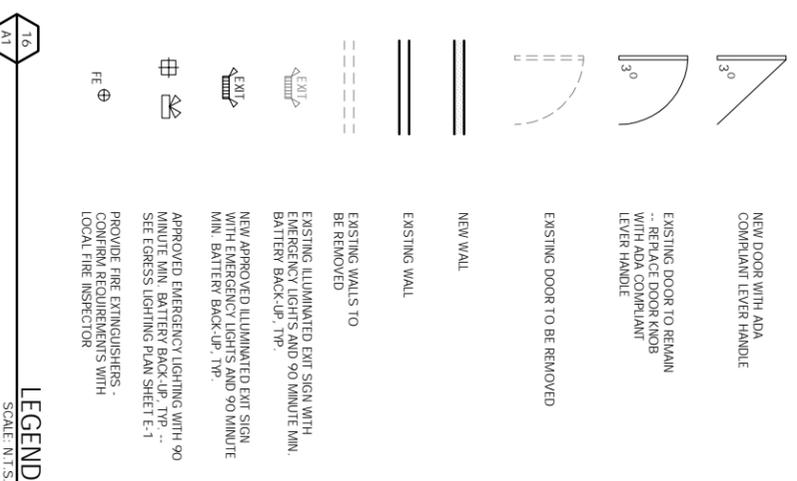
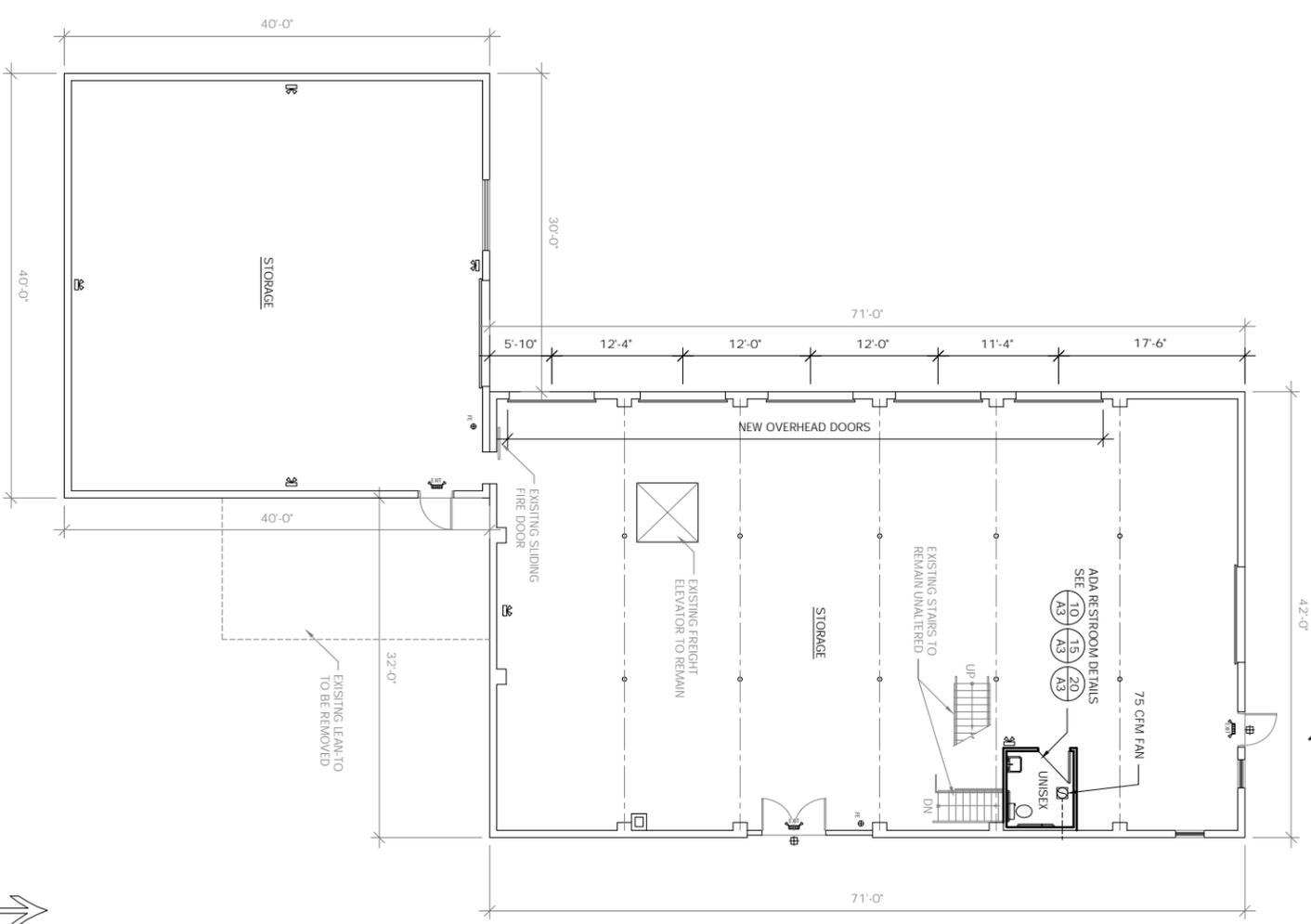
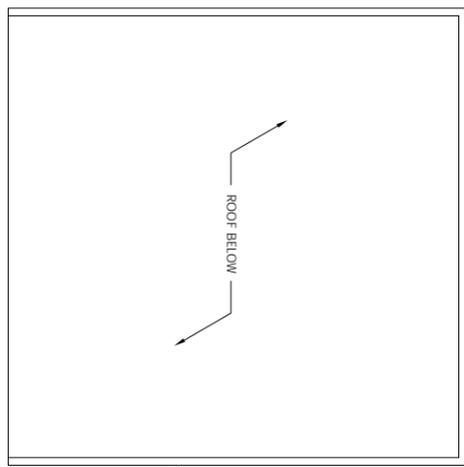
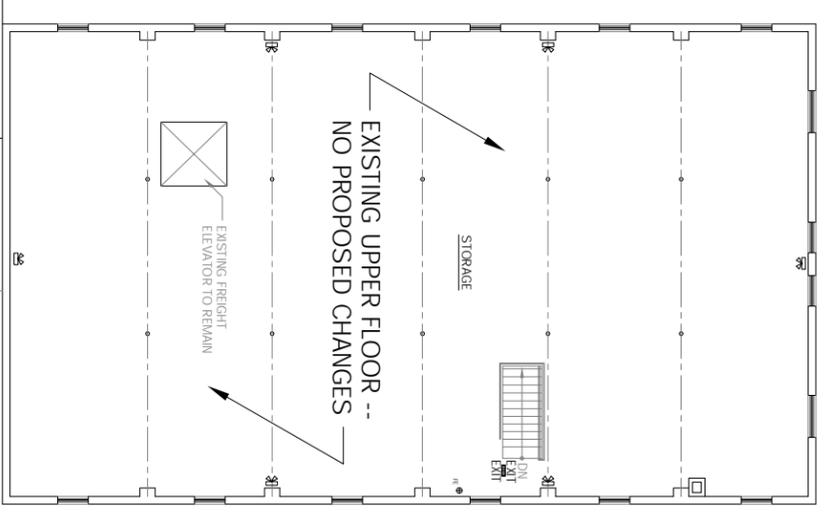
CHECKED BY: P.W.

SHEET NO.

SP-1

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

ALL DRAWINGS ARE 1/2" SCALE SHOWN



LEGEND

SCALE: 1/8" = 1'-0"  
 2020TLC STORAGE WAREHOUSE\TLC\SW\DRAWINGS.DWG  
 DATE: JUNE 16, 2020

18

UPPER FLOOR PLAN

SCALE: 1/8" = 1'-0"  
 2020TLC STORAGE WAREHOUSE\TLC\SW\DRAWINGS.DWG  
 DATE: JUNE 16, 2020

20

MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"  
 2020TLC STORAGE WAREHOUSE\TLC\SW\DRAWINGS.DWG  
 DATE: JUNE 16, 2020

**the Design Alliance** Architects, Inc.

1003 Madison Avenue  
 Fort Atkinson, WI

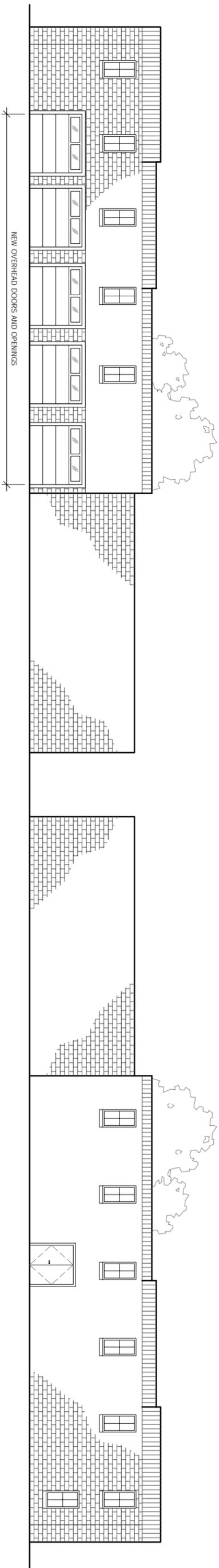
(920) 563-3404

**TLC RESTORATIONS  
 STORAGE WAREHOUSE**  
 645 College Street  
 Milton, WI 53563

|                  |           |
|------------------|-----------|
| DRAWING NAMES    |           |
| MAIN FLOOR PLAN  |           |
| UPPER FLOOR PLAN |           |
| LEGEND           |           |
| REVISIONS        |           |
|                  |           |
|                  |           |
|                  |           |
| PROJECT DATA     |           |
| DATE:            | 6/18/2020 |
| DRAWN BY:        | CL        |
| CHECKED BY:      | P.W.      |
| SHEET NO.        | A-1       |

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

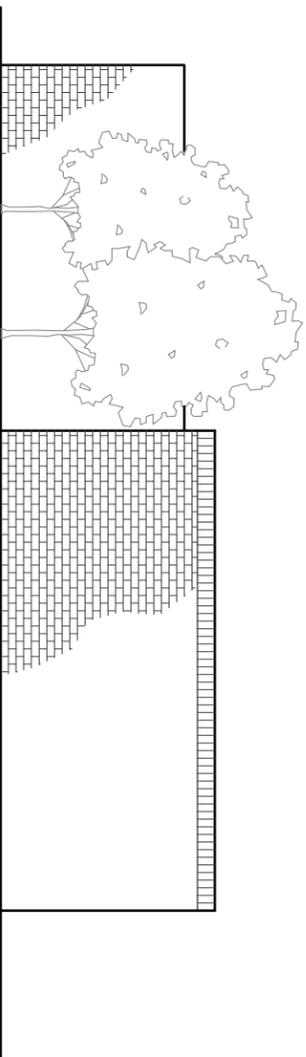
ALL DRAWINGS ARE 1/2 SCALE SHOWN



WEST ELEVATION

13  
A2  
SCALE: 1/8" = 1'-0"  
2020TLC STORAGE WAREHOUSE\TLC\SW-DRAWINGS.DWG  
DATE: JUNE 16, 2020

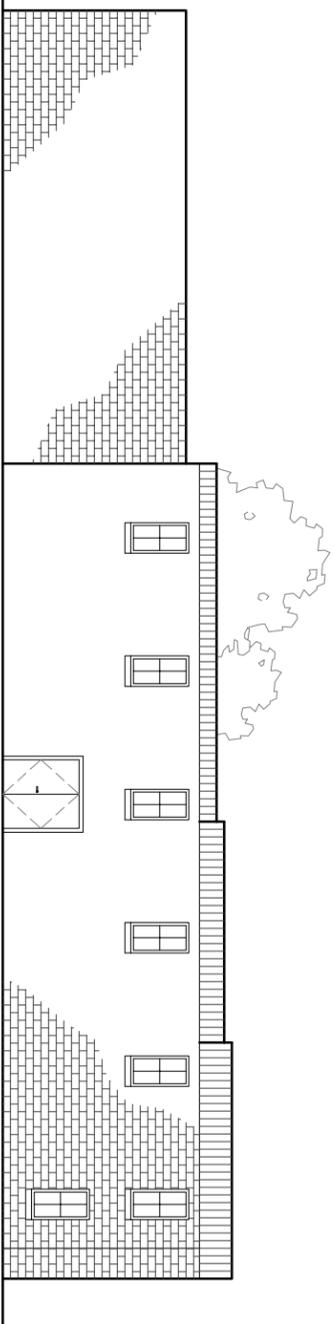
EXISTING WEST ELEVATION



SOUTH ELEVATION

18  
A2  
SCALE: 1/8" = 1'-0"  
2020TLC STORAGE WAREHOUSE\TLC\SW-DRAWINGS.DWG  
DATE: JUNE 16, 2020

EXISTING SOUTH ELEVATION



EAST ELEVATION

10  
A2  
SCALE: 1/8" = 1'-0"  
2020TLC STORAGE WAREHOUSE\TLC\SW-DRAWINGS.DWG  
DATE: JUNE 16, 2020

EXISTING EAST ELEVATION



NORTH ELEVATION

20  
A2  
SCALE: 1/8" = 1'-0"  
2020TLC STORAGE WAREHOUSE\TLC\SW-DRAWINGS.DWG  
DATE: JUNE 16, 2020

EXISTING NORTH ELEVATION

TLC RESTORATIONS  
STORAGE WAREHOUSE  
645 College Street  
Milton, WI 53563

**the Design Alliance**  
Architects, Inc.

1003 Madison Avenue  
Fort Atkinson, WI

(920) 563-3404

DRAWING NAMES  
ELEVATIONS

REVISIONS

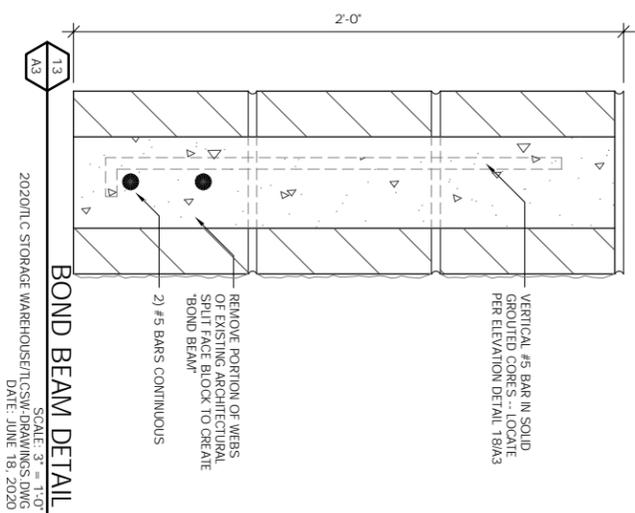
PROJECT DATA

DATE: 6/18/2020  
DRAWN BY: CL  
CHECKED BY: P.W.

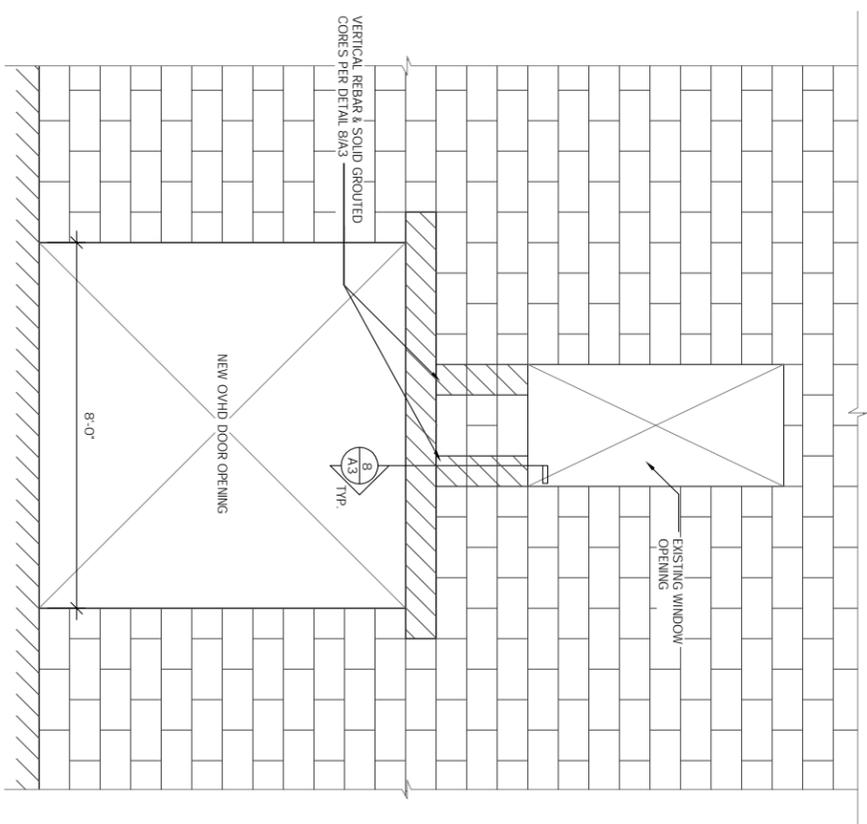
SHEET NO.

A-2

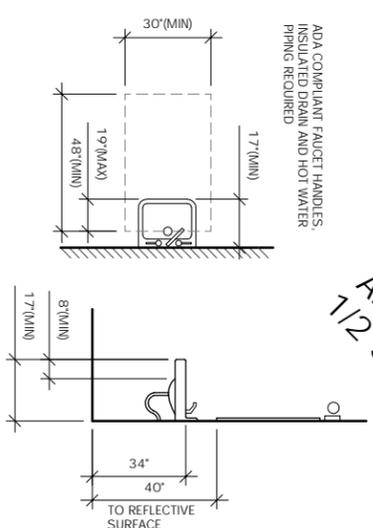
VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.



**BOND BEAM DETAIL**  
SCALE: 3" = 1'-0"  
2020TLC STORAGE WAREHOUSE/TLC/SW-DRAWINGS.DWG  
DATE: JUNE 18, 2020

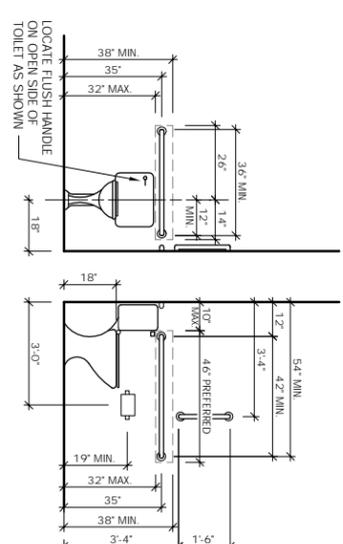


**BOND BEAM ELEVATION DETAIL**  
SCALE: 1/2" = 1'-0"  
2020TLC STORAGE WAREHOUSE/TLC/SW-DRAWINGS.DWG  
DATE: JUNE 18, 2020

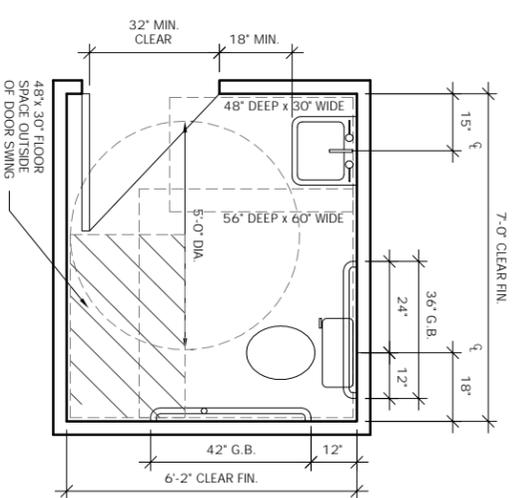


**ADA COMPLIANT LAV PLAN & ELEVATION**  
SCALE: 3/8" = 1'-0"  
2020TLC STORAGE WAREHOUSE/TLC/SW-DRAWINGS.DWG  
DATE: JUNE 16, 2020

ALL DRAWINGS ARE 1/2" SCALE SHOWN



**ADA COMPLIANT TOILET ELEVATIONS**  
SCALE: 3/8" = 1'-0"  
2020TLC STORAGE WAREHOUSE/TLC/SW-DRAWINGS.DWG  
DATE: JUNE 16, 2020



**ADA COMPLIANT RESTROOM**  
SCALE: 1/2" = 1'-0"  
2020TLC STORAGE WAREHOUSE/TLC/SW-DRAWINGS.DWG  
DATE: JUNE 16, 2020

CLEAR FLOOR SPACE AT FIXTURES  
60" X 56" AT WATER CLOSET  
30" X 48" AT LAVATORY  
60" DIAMETER TURNING SPACE

BATHROOM FINISH NOTES:  
FLOOR AND WALLS TO A HEIGHT OF 6' ABOVE FLOOR TO BE FINISHED WITH A MATERIAL IMPERVIOUS TO WATER.

WALLS AND CEILINGS TO BE COMPLETELY COVERED WITH A SMOOTH, NONABSORBENT MATERIAL AND BE OF LIGHT COLOR TO IMPROVE ILLUMINATION AND FACILITATE CLEANING.

PROVIDE H.C. ACCESSIBLE FAUCETS.  
WATER SUPPLY AND DRAIN PIPES UNDER SINK SHALL BE INSULATED TO PREVENT CONTACT.

|                   |                                    |
|-------------------|------------------------------------|
| DRAWING NAMES     | TLC RESTORATIONS STORAGE WAREHOUSE |
| ADA DETAILS       | 645 College Street                 |
| BOND BEAM DETAILS | Milton, WI 53563                   |
| REVISIONS         |                                    |
| PROJECT DATA      |                                    |
| DATE:             | 6/18/2020                          |
| DRAWN BY:         | CL                                 |
| CHECKED BY:       | P.W.                               |
| SHEET NO.         | A-3                                |

**the Design Alliance Architects, Inc.**

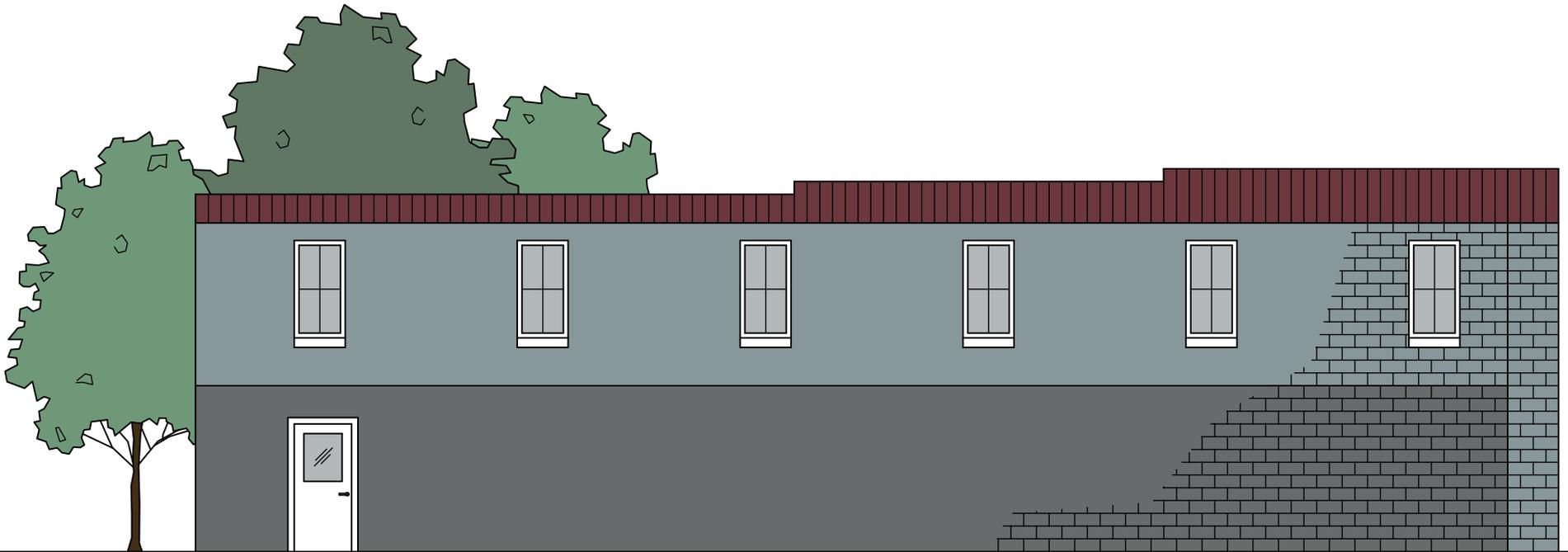
1003 Madison Avenue  
Fort Atkinson, WI (920) 563-3404



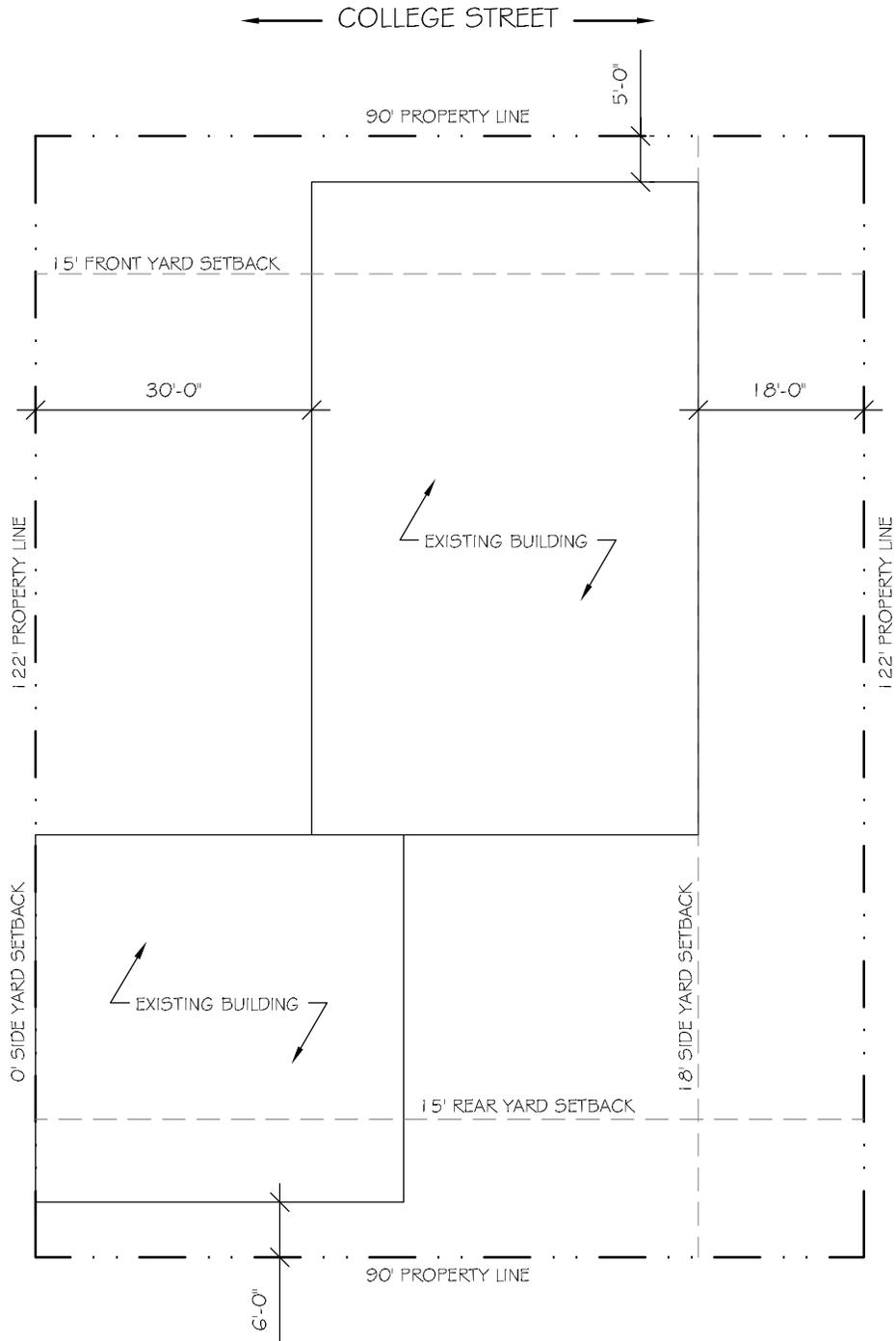
TLC RESTORATIONS - NORTH ELEVATION



TLC RESTORATIONS - WEST ELEVATION



TLC RESTORATIONS - EAST ELEVATION



**401K PROPERTIES**

645 COLLEGE ST  
MILTON, WI 53563

SCALE: 1' = 20'-0"  
DATE: MARCH 12, 2020



a community since 1838

## NOTICE OF PUBLIC HEARING

The City of Milton Plan Commission will hold a **virtual** public hearing on **Tuesday, October 6, 2020 at 4:00 p.m.** via Zoom, to consider a request received from 401K Properties LLC, Robert Rippberger, for a Conditional Use Permit for auto sales in the B-3 (Central Business) district per Section 78-723(5) of the City of Milton Code of Ordinances. The property is located at 645 College Street, Parcel Number V-23-1002.1.

**Code of Ordinance:** Sec. 78-723(5). The following conditional uses shall be allowed in the B-3 district only after the issuance of a conditional use permit under division 3, article II of this chapter: (5) Auto sales.

All interested persons or their agents will be heard at said hearing after which a final determination will be made. This notice is given under Section 78 of the Municipal Code of Ordinances.

**Please Note: This Public Hearing will be conducted virtually via Zoom. Members of the public may participate via the internet link**

<https://us02web.zoom.us/j/85337273193?pwd=YWptSkIwZytOUFlYd2grdzhBSkExQT09> or by calling 1-312-626-6799 and entering meeting ID: 853 3727 3193 and passcode: 486472

Leanne Schroeder, City Clerk

Request received in office: 09/08/2020

Published in the Milton Courier: 09/17/2020 and 09/24/2020

Copies mailed to the following: 09/14/2020

401K Properties, LLC, 635 Greenman Street

John J. Dubats, 311 Parkview Drive

768-772 Main Street, LLC, 1517 N. Parker Drive, Janesville, WI 53545-0767

Gerald Pagel, 640 College Street

David W. Schumacher, 101 N. Clear Lake Avenue

Ekrem Ashiku, 315 Parkview Drive

Robert J. Grabow, 4411 E. Bingham Road, Janesville, WI 53546-9625

Douglas A. Goodger, 652 E. High Street

Donald E. & Linda K. Borgwardt, 55 E. Maple Lane

Aaron C. Fuehrer, 638 E. High Street

David R. & Doris M. Koenig, 632 E. High Street

David J. Selenske & Silvia Donday-Selenske, 626 E. High Street

Gary E. McCarty, 620 E. High Street

City of Milton, 710 S. Janesville Street

Jeffrey L. & Kathleen A. Arndt, 3828 Amhurst Road, Janesville, WI 53546-8803

Milton East Elementary School, c/o School District of Milton, 448 E. High Street

Zhen Zhao Guo, 30 Merchant Row

Bank of Milton, P.O. Box 217

Russell J. & Delight J. Antos, 631 College Street

RRCT Properties, LLC, 3830 Pintail Drive, Janesville, WI 53546-3418

Mary Ann Knudsen Enterprises, Inc., 167 Romar Dr.  
Theodore F. Sykora, 649 College Street  
LVW Properties, LLC, 1701 E. Road 7, Edgerton, WI 53534-9028  
Getchel Properties, LLC, 8700 N. Clear Lake Road  
William J. & Jo Ann Murray, 637 College Street  
Arndt Investments, LLC, P.O. Box 156, Janesville, WI 53547-0156  
BAC Milton, LLC, 800 Sherman Avenue E, Fort Atkinson, WI 53538-1970  
James E. Warren, 4401 N. County Road KK  
Darrin J. Iverson & Kristin L. Snell, 625 College Street  
Delos W. & Carol M. Jacobs, 624 College Street  
The Cove Bar Rental, LLC, 710 McEwan Lane

Mayor, Anissa Welch  
City Administrator, Al Hulick  
City Attorney, Mark Schroeder  
City Clerk, Leanne Schroeder  
Director of Public Works, Howard Robinson  
Police Chief, Scott Marquardt  
City Assessor, Paul Musser

Common Council Members

Ald Lynda Clark  
Ald Devin Elliott  
Ald Ryan Holbrook  
Ald Larry Laehn  
Ald Theresa Rusch  
Ald Bill Wilson

Plan Commission Members:

Anissa Welch  
Larry Laehn  
Frank Green  
Ethel Himmel  
Dave Ostrowski  
Bob Seales  
Al Hulick  
Howard Robinson

Individuals who are unable to attend the Public Hearing may submit comments to:

MAIL: Milton City Hall, 710 S. Janesville Street, Milton WI 53563

E-MAIL: [lschroeder@milton-wi.gov](mailto:lschroeder@milton-wi.gov) or [hrobinson@milton-wi.gov](mailto:hrobinson@milton-wi.gov)

PHONE: 868-6900

FAX: 868-6927





## Department of Public Works

**To:** Mayor Welch, Milton Plan Commission  
**From:** Howard Robinson, Director of Public Works  
**Date:** October 6, 2020  
**Subject:** Discussion and Possible Action Regarding a Site Plan Review for a Dairy Queen at 1167 Gateway Drive.

---

### Summary

A Dairy Queen is planned to be constructed at 1167 Gateway Drive. This is the lot east of Kwik Trip. The lot is zoned B-2. A site plan has been submitted. The site plan will meet ordinance requirements with the contingency of completing the following items for the site plan:

- Storm Water Plan - Required to indicate revision dates and language describing the drainage pipes, mains, inlets, cleanouts, etc.
- The biofilter (onsite stormwater area) can only be mowed to a height of no less than 6". City Engineer Mark Langer will verify these corrections when submitted.
- Roof top HVAC units will require screening..

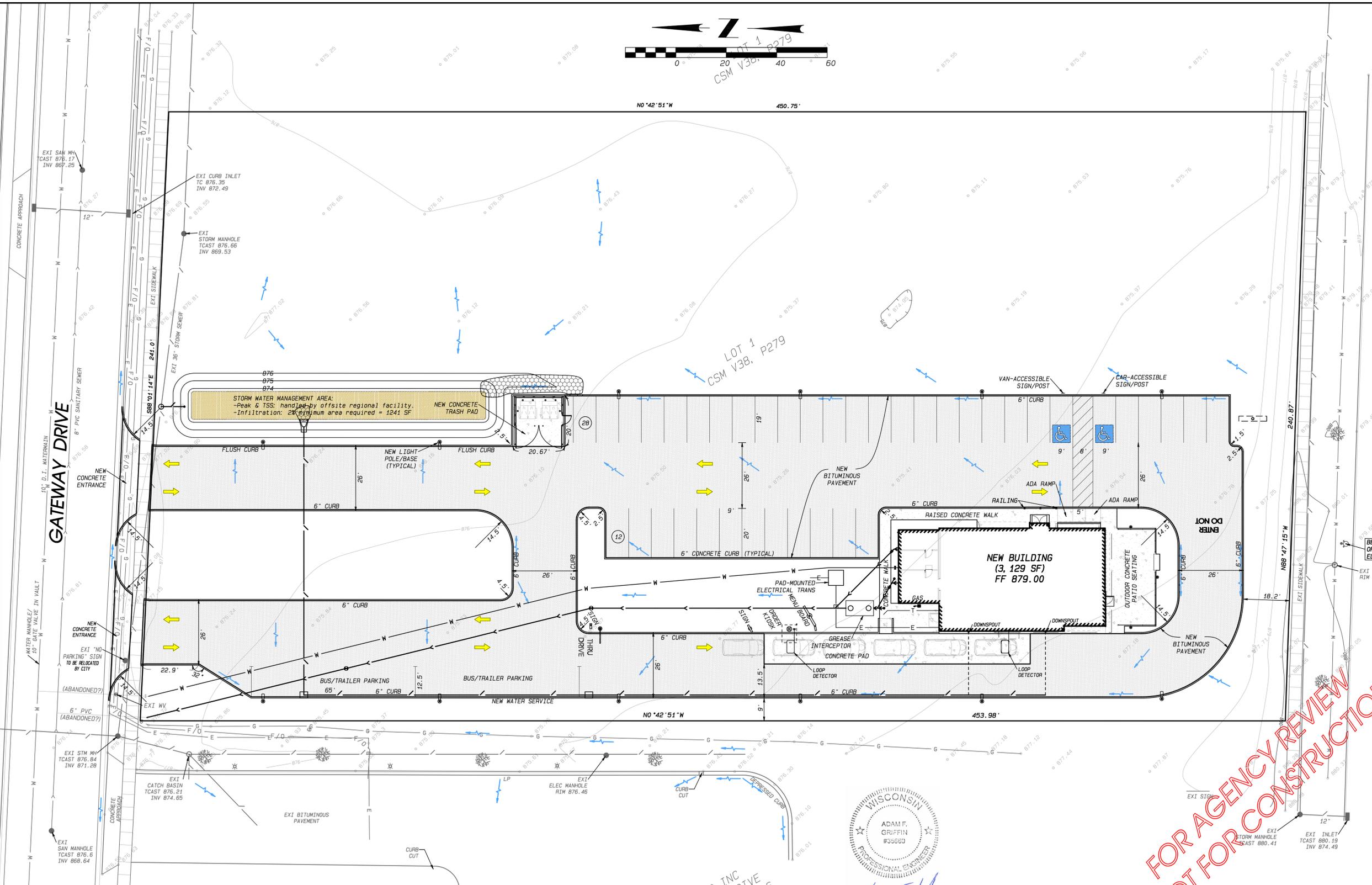
### Recommendation

City staff recommends approval of the site plan with the above contingencies for a Dairy Queen at 1167 Gateway Drive.



**LEGEND:**

- EASEMENT LINE
- BUILDING SETBACK LINE
- SANITARY SEWER
- WATER MAIN
- STORM SEWER
- PROPERTY LINE
- FENCE LINE
- CONSTRUCTION LIMITS
- PROPOSED SILT FENCE
- CONTOUR LINE
- CENTER LINE
- BUILDING LINE
- AERIAL UTILITY WIRE (S)
- TELEPHONE LINE
- GAS LINE
- ELECTRIC LINE
- VE VISION EASEMENT
- DE DRAINAGE EASEMENT
- UE UTILITY EASEMENT
- WW WINDOW WELL
- AC AIR CONDITIONER
- E ELECTRIC BOX
- EM ELECTRIC METER
- GM GAS METER
- TC TELEPHONE BOX
- GC GUY CABLE ANCHOR
- \* LIGHT POLE
- UTILITY POLE
- C.O. CLEANOUT
- D.C.O. DOUBLE CLEANOUT



S.T.H. "59"

**INDEX OF SHEETS**

1. DIMENSION PLAN
2. GENERAL NOTES & DETAILS
3. DETAILS
4. SITE UTILITY PLAN
5. GRADING AND DRAINAGE PLAN
6. EROSION CONTROL PLAN
7. ECP NOTES AND DETAILS
8. LANDSCAPE PLAN

FOR AGENCY REVIEW  
NOT FOR CONSTRUCTION



LOCATION SKETCH



KWIK TRIP INC  
1157 GATEWAY DRIVE  
LOT 1, CSM V38, P336

**CONSTRUCTION PLANS  
FOR  
CAPITAL ASSET INVESTMENTS**  
PART OF SECTION 21, T.3N., R.13E. OF THE 4TH P.M.  
CITY OF MILTON, ROCK COUNTY, WISCONSIN.

|  |                     |  |             |  |
|--|---------------------|--|-------------|--|
| <b>Combs &amp; Associates</b>                                      | • LAND SURVEYING    | DATE                                   | 08/10/20    | REVISIONS<br>08/18/20 Storm Pmt Det. AFG |
|  | • LAND PLANNING     | BY                                     | BFG         |  |
|  | • CIVIL ENGINEERING | APPROVED                               | AFG         |  |
| 109 W. Milwaukee St.<br>Janesville, WI 53548<br>www.combsurvey.com |                     | tel: 608 752-0575<br>fax: 608 752-0534 | PROJECT NO. | 120-295                                  |

**Member One Call System Interconnect**

To Obtain Location of Participants Underground Facilities Before You Dig in Wisconsin

**CALL DIGGERS HOTLINE**  
1-800-242-8511

Wis Statute 182.0175 (1974)  
Requires Min. 3 Work Days  
Notice Before You Excavate

**SITE DATA (including undeveloped area):**

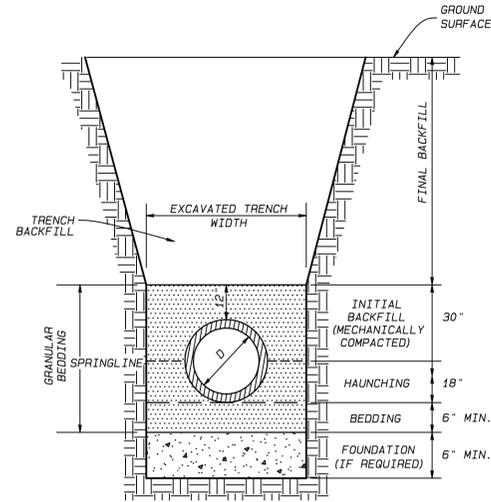
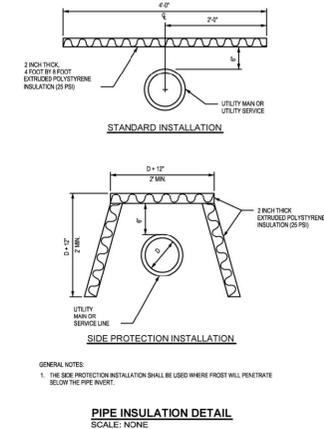
|                  |                   |
|------------------|-------------------|
| Greenspace =     | 69,835 sf         |
| Building =       | 3,129 sf          |
| Paved Surfaces = | 35,955 sf         |
| <b>Total =</b>   | <b>108,919 sf</b> |

**GENERAL NOTES**

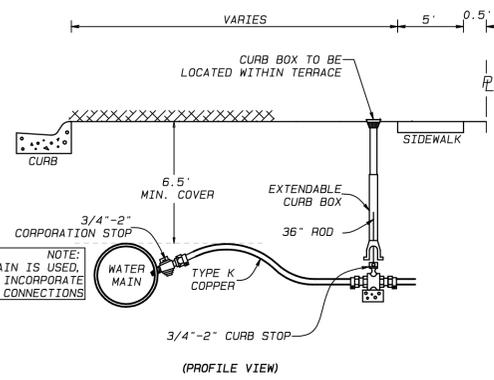
All pavement construction shall be in conformance with the typical cross section shown on the plans and in conformance with the State of Wisconsin Department of Transportation "Standard Specifications for Road and Bridge Construction".  
 All work shall be in accordance with City of Milton Standards.  
 The contractor shall clear, grub, and dispose of all brush, stumps, trees, etc., within the construction limits of the subject property and within the construction limits of all sewer and water main construction. Contractor shall remove those materials from the work site and dispose of them at the contractor's option and in conformance with State and local regulations. Contractor shall verify location of any existing utilities prior to excavation. Call Digger's Hotline before digging (1 800 242-8511). Contractor shall backfill any utilities in structural areas using appropriate granular backfill.  
 Permits shall be obtained for any street openings.  
 All work shall be in accordance with "Wisconsin Construction Site Best Management Practices Handbook", latest edition.  
 Contractor shall notify the City of Milton 48 hours prior to start of construction.  
 Contractor shall ensure drive approaches shall be in accordance with City of Milton specifications (unless changes are approved by the City).

**SITE SPECIFIC NOTES**

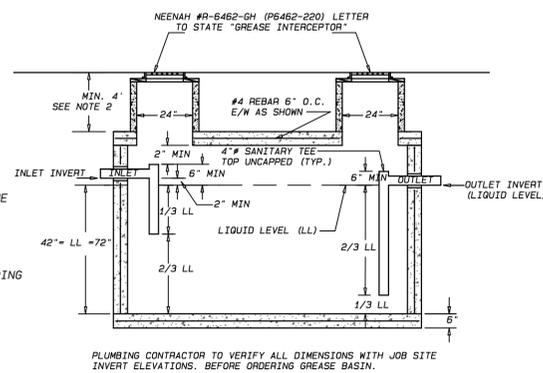
All construction debris must be removed from site. In no instance shall debris be buried on-site.  
 Contractor shall verify all public & private utilities are installed prior to laying gravel.  
 Contractor shall provide unit prices to owner at time of bid for removal and replacement of unsuitable material under structures and traffic areas as approved by owner.



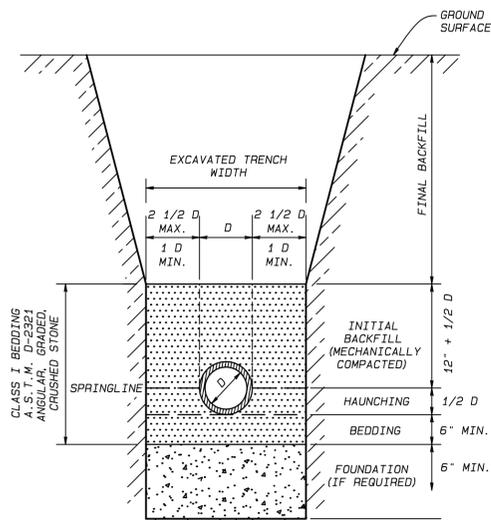
**WATERMAIN PIPE EMBEDMENT DETAIL**



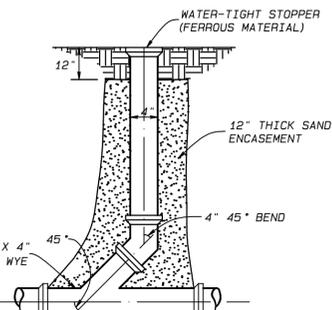
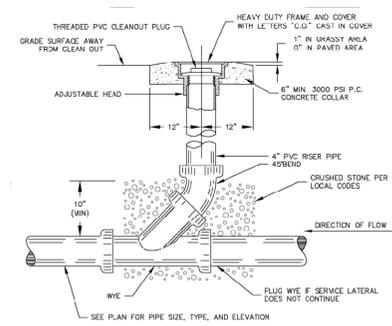
**WATER SERVICE DETAIL**



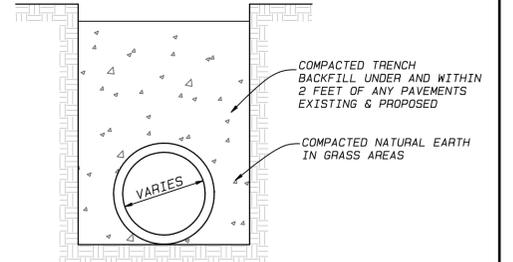
**1,500 GALLON GREASE BASIN DETAIL**  
 SCALE: NONE



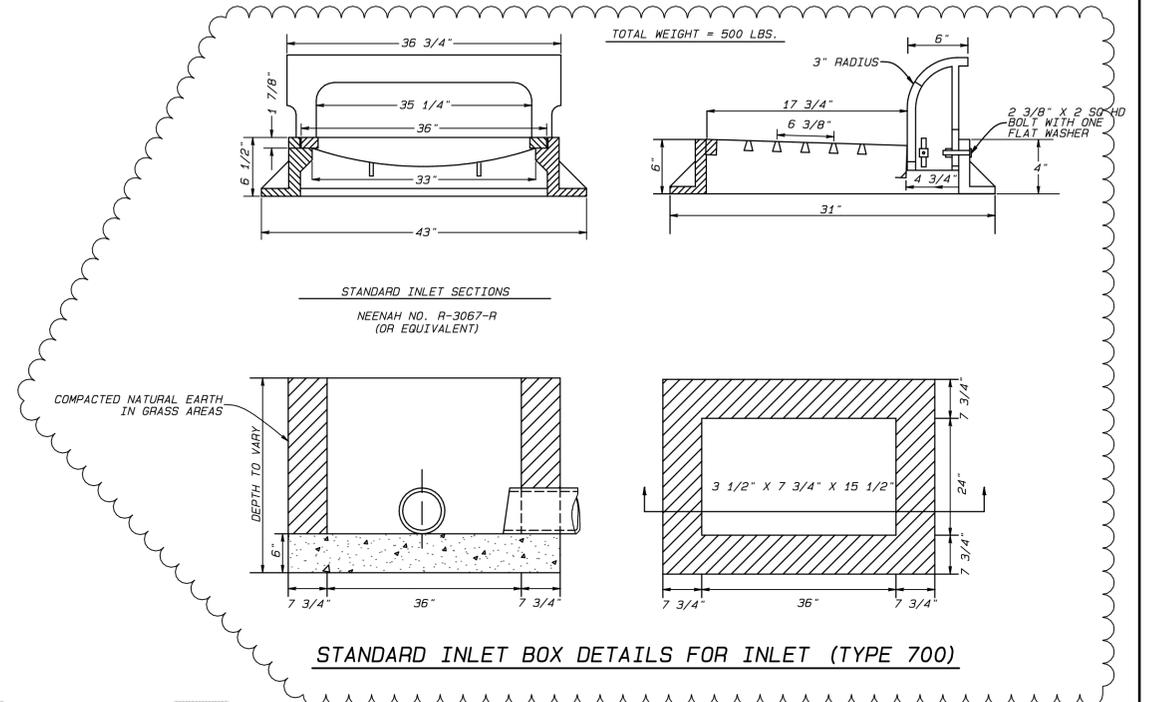
**SANITARY PIPE EMBEDMENT DETAIL**



**CLEANOUT DETAIL**



**RCCP STORM PIPE BEDDING-TRENCH BACKFILL**



**STANDARD INLET BOX DETAILS FOR INLET (TYPE 700)**

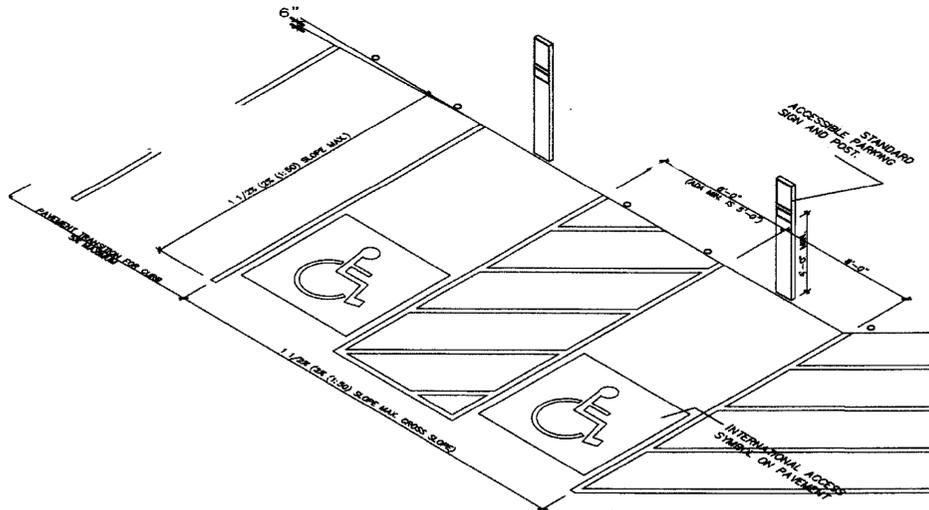
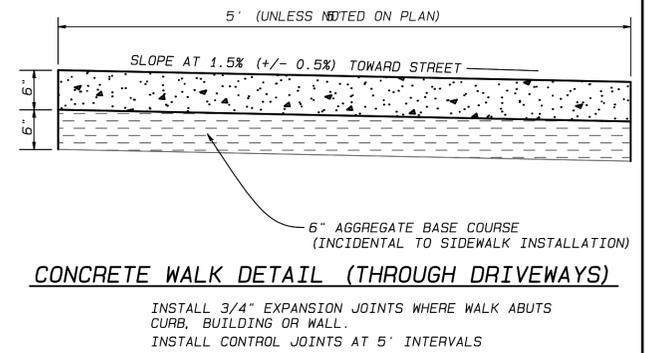
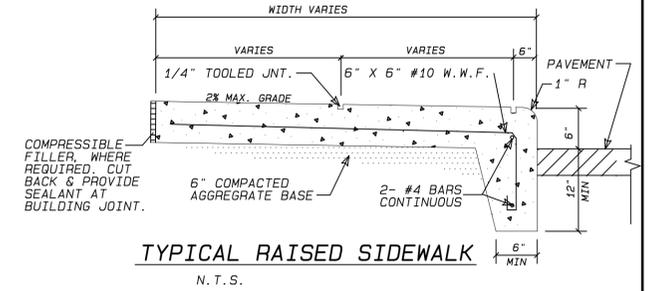
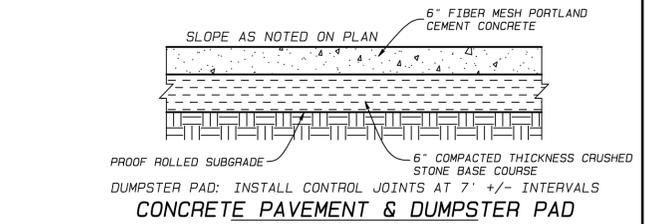
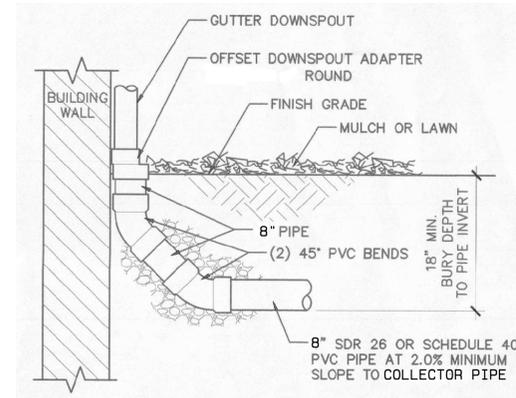
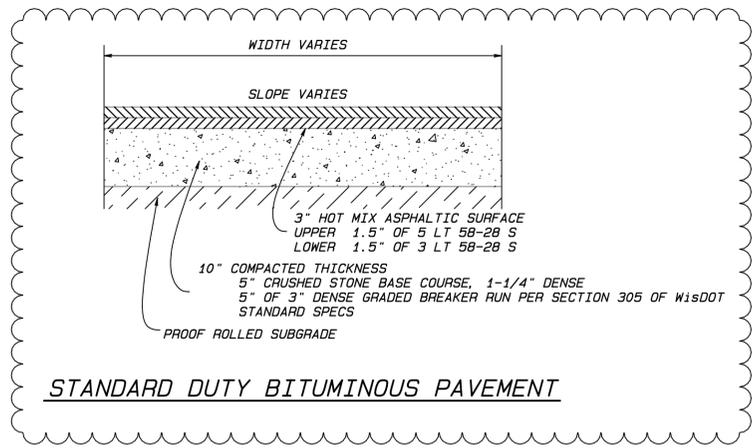
**GREASE INTERCEPTOR CALC.**

$C = S \times H \times A$  WHERE  
 S = NUMBER OF SEATS, WITH EACH DRIVE-IN CAR SERVICE SPACE COUNTING AS 3 SEATS AND EACH DRIVE-UP SERVICE WINDOW COUNTING AS 60 SEATS.  
 H = HOURS PER DAY THAT MEALS ARE SERVED, AT LEAST 6 HOURS BUT NOT MORE THAN 12 HOURS.  
 A = APPLIANCE FACTOR:  
 0.75 FOR A KITCHEN WITH NO DISHWASHING MACHINE AND NO FOOD WASTE GRINDER.  
 1.0 FOR A KITCHEN WITH EITHER A DISHWASHING MACHINE OR A FOOD WASTE GRINDER.  
 1.25 FOR A KITCHEN WITH BOTH A DISHWASHING MACHINE AND A FOOD WASTE GRINDER.  
 THIS PROJECT:  
 S = 156 (96 SEATS, 60 SEATS DRIVE-THRU)  
 H = 12 HOURS  
 A = 0.75  
 C = 1,404  
 ALL PAPER SERVICE (SIZE MAY BE HALVED) 1.4042 = 702  
 MINIMUM 750 GALLON REQUIRED (DISCH. TO MUNICIPAL SEWER)

**EXTERIOR GREASE INTERCEPTOR NOTES:**

- THE TANK MUST COMPLY WITH PARTS 5 & 6 OF ASTM STANDARD c1613. THE NAME OF THE TANK MANUFACTURER, THE LIQUID HOLDING CAPACITY, AND COMPLIANCE WITH ASTM c1613 FOR TANK CONSTRUCTION MUST BE PERMANENTLY AFFIXED TO THE TANK.
- THE INTERCEPTOR MUST BE PROTECTED FROM FREEZING BASED ON INSTALLATION DEPTH AND SOIL TYPE PER WISCONSIN ADMINISTRATIVE CODE SPS 382.30 (11) (c). THE LANDSCAPE MUST BE BERMED TO DIVERT RUN-OFF. THE TANK MUST BE PROTECTED TO PREVENT LOADING THAT MAY LEAD TO STRUCTURAL COLLAPSE.
- THE TANK MUST BE READILY ACCESSIBLE FOR INSPECTION AND MAINTENANCE.
- THE MATERIAL USED IN PIPING TO THE INLET OF THE TANK MUST COMPLY WITH BUILDING DRAIN REQUIREMENTS. THE TANK OUTLET PIPING MAY COMPLY WITH BUILDING SEWER MATERIALS UNLESS THE OUTLET PIPING REENTERS THE BUILDING. IN SUCH CASES, MATERIALS SHALL BE APPROVED FOR BUILDING DRAIN. THE INLET AND OUTLET PIPES MUST BE CONNECTED TO THE TANK WITH A SEALED FLEXIBLE JOINT TO ACCOMMODATE PIPE MOVEMENT. A CLEANOUT MUST PROVIDED ON THE DISCHARGE LINE FROM THE INTERCEPTOR.
- THE TANK AND BAFFLE DESIGN MUST ALLOW FOR CONTINUOUS CIRCULATION OF AIR THROUGHOUT THE TANK. PROVIDE 2" VENT INTO BUILDING - SEE PLUMBING PLANS.
- INSPECTION PIPES LOCATED ABOVE THE BAFFLES/TEES AND A MANHOLE MUST BE PROVIDED. THE MANHOLE COVER MUST BE LOCKED IN PLACE, MARKED WITH WARNING TO NOT ENTER WITHOUT PROPER EQUIPMENT, AND TO BE PROVIDED WITH A LABEL IDENTIFYING THE VESSEL AS THE EXTERIOR GREASE INTERCEPTOR.
- AFTER INSTALLATION, THE TANK MUST PASS A MANOMETER TEST WITH 1 INCH OF WATER COLUMN FOR 5 MINUTES, OR A VACUUM TEST WITH 2 INCHES OF MERCURY FOR 60 MINUTES. THE GREASE INTERCEPTOR MUST BE INSPECTED AT LEAST ONCE EVERY 3 MONTHS, AND MUST BE PUMPED AND CLEANED REGULARLY. THE RECORDS OF THE INSPECTION MUST BE KEPT FOR AT LEAST 3 YEARS.
- INTERCEPTORS LOCATED IN TRAFFIC AREAS SHALL BE DESIGNED TO WITHSTAND AN AASHTO-H20-44 WHEEL LOAD.

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|--|--|--|---|
| <br>109 W. Milwaukee St.<br>Johnsonville, WI 53546<br>www.combsurvey.com | LAND SURVEYING<br>LAND PLANNING<br>CIVIL ENGINEERING | DATE: 08/10/20<br>BY: BFG<br>APPROVED: AFG | REVISIONS<br>08/18/20 Storm Pymt Det. AFG |
|  | PROJECT NO.<br>120-295                               | TEL: 608 752-0575<br>FAX: 608 752-0534     |   |
|  |  |  |   |
|  |  |  |   |



**STANDARD ACCESSIBLE DIMENSIONING**

A U.S. DEPARTMENT OF TRANSPORTATION R7-8 (RESERVED PARKING) AND SUPPLEMENTAL SIGNS AS NOTED ABOVE MUST BE MOUNTED ON A PERMANENT POST NO LOWER THAN FROM THE PAVEMENT. THE POST MUST BE MOUNTED IN THE CENTER OF THE 8 FOOT WIDE ACCESSIBLE PARKING SPACE. NO MORE THAN 5 FEET FROM THE FRONT OF THE PARKING SPACE. SEE ILLUSTRATION ABOVE.

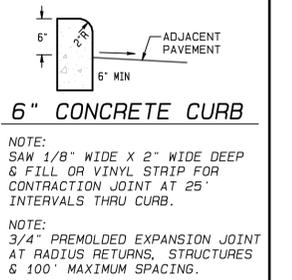
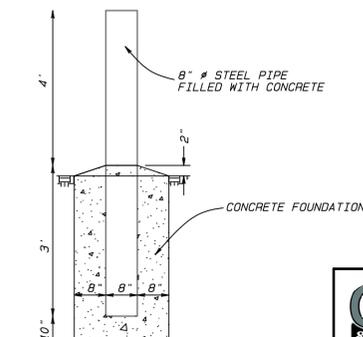
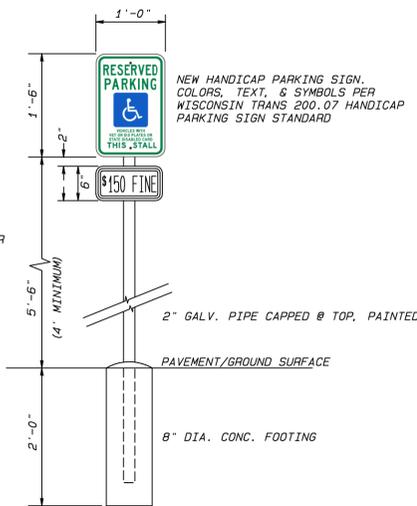
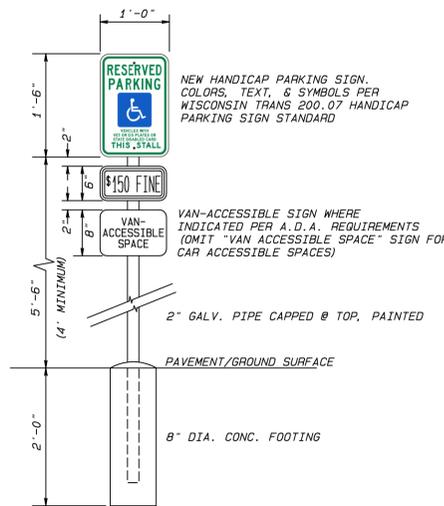
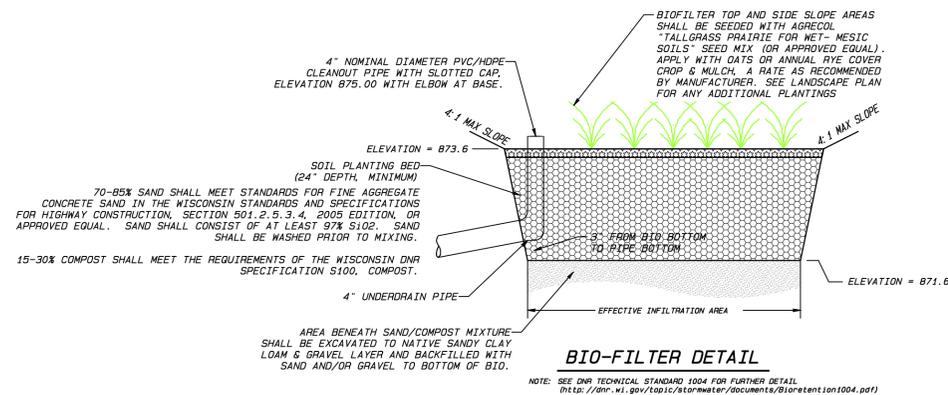
NOTES:  
EACH ACCESSIBLE PARKING SPACE IS TO BE A MINIMUM OF 8 FEET WIDE AND HAVE A 96" MINIMUM ACCESS AISLE FOR VANS OR 80" ACCESS AISLE FOR CARS ADJACENT TO THE SPACE. THE ACCESS AISLE MAY BE ON EITHER THE DRIVER'S SIDE OR THE PASSENGER'S SIDE OF THE ACCESSIBLE SPACE. THIS APPLIES TO 45, 60, AND 90° PARKING.

ACCESSIBLE PARKING SPACES ARE TO BE LOCATED AS CLOSE TO THE STORE ENTRANCE AS POSSIBLE AND SHALL BE IDENTIFIED WITH A SIGN.

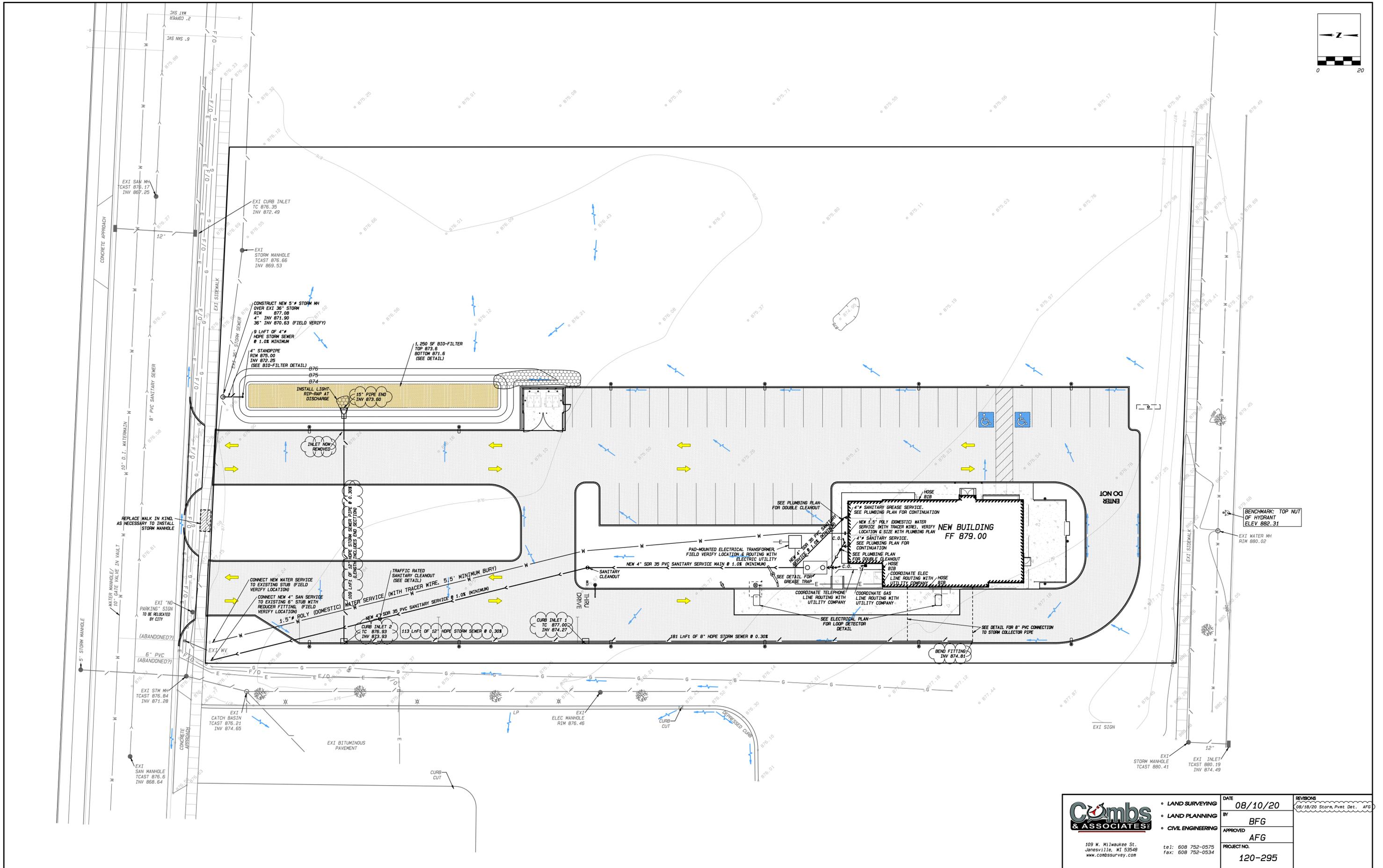
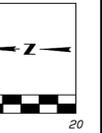
ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH A SLOPE OF 1/4" (2% MAXIMUM) (EXAMPLE: 1.92 INCHES MAX. VERTICAL IN 8 FEET HORIZONTAL) OR 1:50 IN ALL DIRECTIONS. THIS INCLUDES BOTH "RUNNING SLOPES" AND "CROSS SLOPES."

THE ACCESS AISLE SHALL BE DESIGNATED WITH HIGH QUALITY YELLOW DIAGONAL SURFACE PAINT STRIPING.

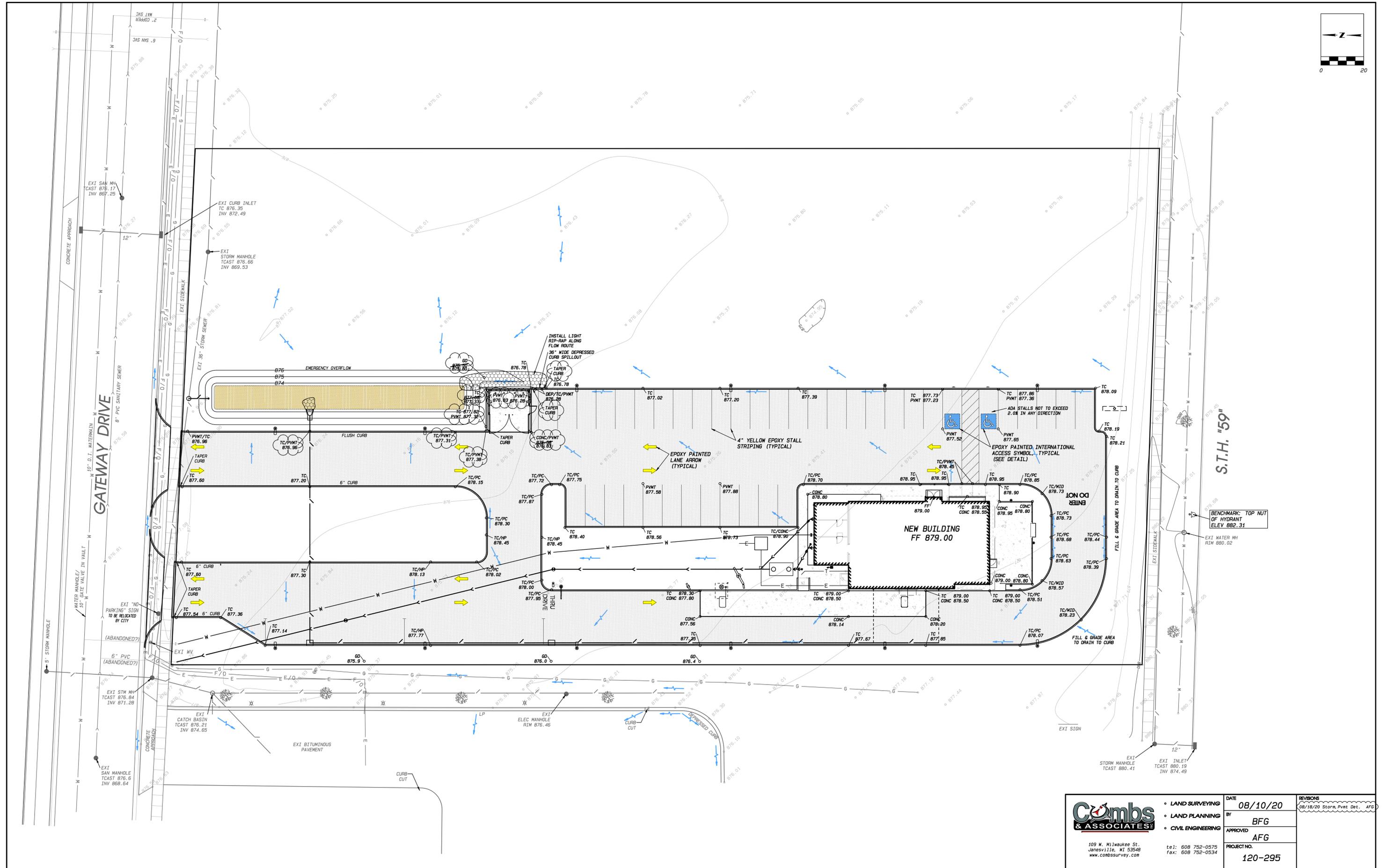
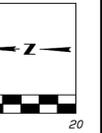
ADA ALLOWS TWO PARKING SPACES TO SHARE AN ACCESS AISLE.



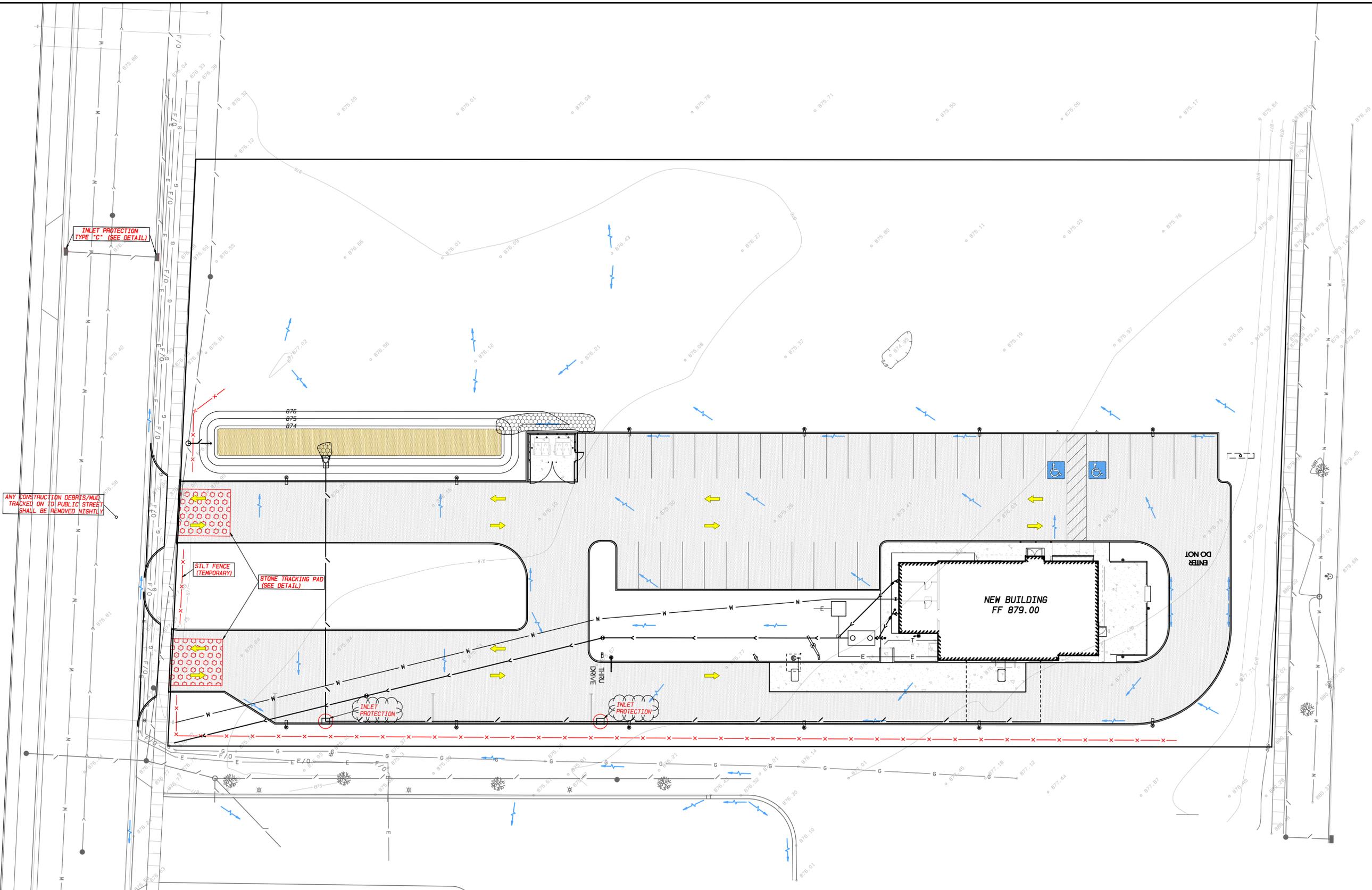
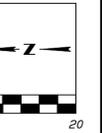
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|---|--|--|--|
| <p>109 W. Milwaukee St.<br/>Janesville, WI 53402<br/>www.combsurvey.com</p> | LAND SURVEYING<br>LAND PLANNING<br>CIVIL ENGINEERING | DATE: 08/10/20<br>BY: BFG<br>APPROVED: AFG | REVISIONS<br>08/18/20 Storm Pmt Det. AFG |
|   | PROJECT NO.<br>120-295                               | TEL: 608 752-0575<br>FAX: 608 752-0534     |  |
|   | PROJECT NO. 120-295                                  |  |  |
|   | PROJECT NO. 120-295                                  |  |  |



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| <p>109 W. Milwaukee St.<br/>Johannesville, NJ 07040<br/>www.combsurvey.com</p> | • LAND SURVEYING<br>• LAND PLANNING<br>• CIVIL ENGINEERING | DATE <b>08/10/20</b><br>BY <b>BFG</b><br>APPROVED <b>AFG</b> | REVISIONS<br>08/18/20 Storm Pmt Det. AFG |
|  |  | PROJECT NO.<br><b>120-295</b>                                |  |
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| <p>109 W. Milwaukee St.<br/>Janesville, WI 53546<br/>www.combsurvey.com</p> | • LAND SURVEYING<br>• LAND PLANNING<br>• CIVIL ENGINEERING | DATE 08/10/20<br>BY BFG<br>APPROVED AFG | REVISIONS<br>08/18/20 Storm, Pwnt Det. AFG |
|   | tel: 608 752-0575<br>fax: 608 752-0534                     | PROJECT NO.<br>120-295                  |  |
|   |  |   |  |
|   |  |   |  |



ANY CONSTRUCTION DEBRIS/MUD TRACKED ON TO PUBLIC STREET SHALL BE REMOVED NIGHTLY

INLET PROTECTION TYPE "C" (SEE DETAIL)

SILT FENCE (TEMPORARY)

STONE TRACKING PAD (SEE DETAIL)

INLET PROTECTION

INLET PROTECTION

NEW BUILDING  
FF 879.00

DO NOT ENTER

|   |                                   |                      |   |
|---|-----------------------------------|----------------------|---|
|  <p>109 W. Milwaukee St.<br/>Janesville, WI 53546<br/>www.combsurvey.com</p> | <p>• LAND SURVEYING</p>           | <p>DATE 08/10/20</p> | <p>REVISIONS</p> <p>08/18/20 Storm, Pvt. Det. AFG</p> |
|   | <p>• LAND PLANNING</p>            | <p>BY BFG</p>        |   |
|   | <p>• CIVIL ENGINEERING</p>        | <p>APPROVED AFG</p>  |   |
|   | <p>PROJECT NO.</p> <p>120-295</p> |                      |   |

**GENERAL EROSION NOTES**

- THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING, THE EROSION CONTROL DETAILS, THE NOI PERMIT, SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE SWPPP AND THE STATE OF WISCONSIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE SWPPP. ADDITIONAL BMP'S SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS, OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- THE SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS AND PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS, AND MUST BE MAINTAINED ON-SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICABLE OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON-SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE SWPPP SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPING PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR SEDIMENT, THEN VEHICLES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION PONDS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

**EROSION CONTROL PLAN NOTES:**

- PHASED CONSTRUCTION / STABILIZATION**  
TO ENSURE THAT DISTURBED AREAS ARE NOT VULNERABLE TO EROSION FOR EXTENDED PERIODS, THE SITE NEEDS TO BE BROKEN INTO ZONES OF LAND DISTURBANCE.  
WITHIN EACH ZONE, STABILIZE (E.G., SEED & MULCH, COMPOST, EROSION MAT, POLYMER) ALL DISTURBED AREAS OUTSIDE OF STREET RIGHT-OF-WAY BEFORE BREAKING GROUND IN THE NEXT ZONE. STABILIZATION SHALL OCCUR WITHIN 30 DAYS OF INITIAL GROUNDBREAKING OR WITHIN 7 DAYS OF ACHIEVING FINAL GRADE, WHICHEVER OCCURS FIRST.  
MULCH AS PART OF A STABILIZATION MEASURE SHALL BE APPLIED TO PRODUCE A CONTINUOUS COVER OF MULCH AND SHALL BE ANCHORED AT A RATE OF 2 TONS PER ACRE. IN ALL CASES, THE MULCH MUST BE ANCHORED INTO THE SOIL BY DISCING.

- CONSTRUCTION ENTRANCES/EXITS**  
CONTRACTOR SHALL PROVIDE A STONE TRACKING PAD AT THE POINT(S) OF ACCESS AS SHOWN ON THE PLANS. INSTALL ACCORDING TO DNR STANDARD 1057. REFER TO DNR'S WEB PAGE OF TECHNICAL STANDARDS AT: <http://dnr.wi.gov/org/water/wm/nps/stormwater/techstds.htm#Construction>

- WATER PROVISION**  
FOR THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION (E.G., SEED & MULCH, EROSION MAT, SOIL) OF A DISTURBED AREA, PROVISION SHALL BE MADE FOR WATERING WHENEVER MORE THAN 7 DAYS OF DRY WEATHER ELAPSE.

- TEMPORARY STABILIZATION USING ANIONIC POLYMER**  
ANIONIC POLYACRYLAMIDE WILL BE APPLIED TO ALL DISTURBED AREAS WHERE THE VILLAGE ENGINEER OR DNR REPRESENTATIVE DEEM STABILIZATION AND/OR EROSION TO BE PROBLEMATIC. APPLICATION OF POLYACRYLAMIDE WILL BE ACCORDING TO DNR CONSERVATION PRACTICE STANDARD 1050, EROSION CONTROL LAND APPLICATION OF ANIONIC POLYACRYLAMIDE. REFER TO DNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: <http://dnr.wi.gov/org/water/wm/nps/stormwater/techstds.htm>

- DEEP TILLING**  
FOLLOWING ROUGH GRADING, DEEP TILLING (A.K.A. SUBSOILING) WILL BE PERFORMED ON ALL GRADED AREAS OUTSIDE THE FOOTPRINT OF STREET FOOTPRINTS. THE OPERATION SHALL BE ACCOMPLISHED USING TRIM-STRAIGHT STEEL SHANKS DRAWN BY TRACKED MACHINERY. EACH SHANK SHALL BE 24 TO 30 INCHES LONG, POSITIONED OVER THE TRACTOR TRACKS, AND SPACED 4 TO 5 FEET APART. DEEP TILLING SHALL BE DONE ON DRY SOIL AND ACROSS THE SLOPE. REFER TO THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL - PERIOD 1, D.1, WHICH IS ACCESSIBLE FROM THE DANE COUNTY LAKES AND WATERSHED COMMISSION WEB SITE AT: <http://www.countyofdane.com/lwrp/lakes/stormwatermanual.shtm>

- SOIL STOCKPILES**  
A ROW OF SILT FENCE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM SOIL STOCKPILES SHALL PROTECT ALL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH SEED & MULCH, EROSION MAT, POLYMER, OR COVERED WITH TARPS OR SIMILAR MATERIAL.

- DENATURING**  
WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DENATURING BASIN OR AN EQUIVALENT DEVICE.  
ANY INDIVIDUAL SEDIMENTATION BASIN SHALL HAVE A DEPTH OF AT LEAST 3 FEET AND PROVIDE A MAXIMUM SURFACE SEPARATING RATE OF 1800 GALLONS PER SQUARE FOOT PER DAY.  
THIS WATER SHALL BE DISCHARGED IN A MANNER THAT DOES NOT INDUCE EROSION OF THE SITE OR ADJACENT PROPERTY.

- STORM SEWER INLETS**  
PROVIDE WDOT TYPE D "CATCHALL" INLET PROTECTION OR EQUIVALENT. REFER TO WDOT PRODUCT ACCEPTABILITY LIST AT: <http://www.dot.wisconsin.gov/business/engserv/pal.htm>. INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM RECEIVING SITE RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL FLAT-LEVEL STABILIZATION IS COMPLETE.

- INSPECTIONS**  
ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY AND WHENEVER 0.5 INCHES OF RAIN OR MORE IS PRODUCED WITHIN 24 HOURS. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.

- PONDS**  
THE STORM WATER PONDS SHALL BE CONSTRUCTED TO ALLOW SEDIMENTATION WITHIN THE POND DURING CONSTRUCTION (EXCLUDING BIO-FILTERS) AND THE CLEANING OF THE POND FROM ACCUMULATED SEDIMENT AT THE COMPLETION OF CONSTRUCTION.

**MAINTENANCE**

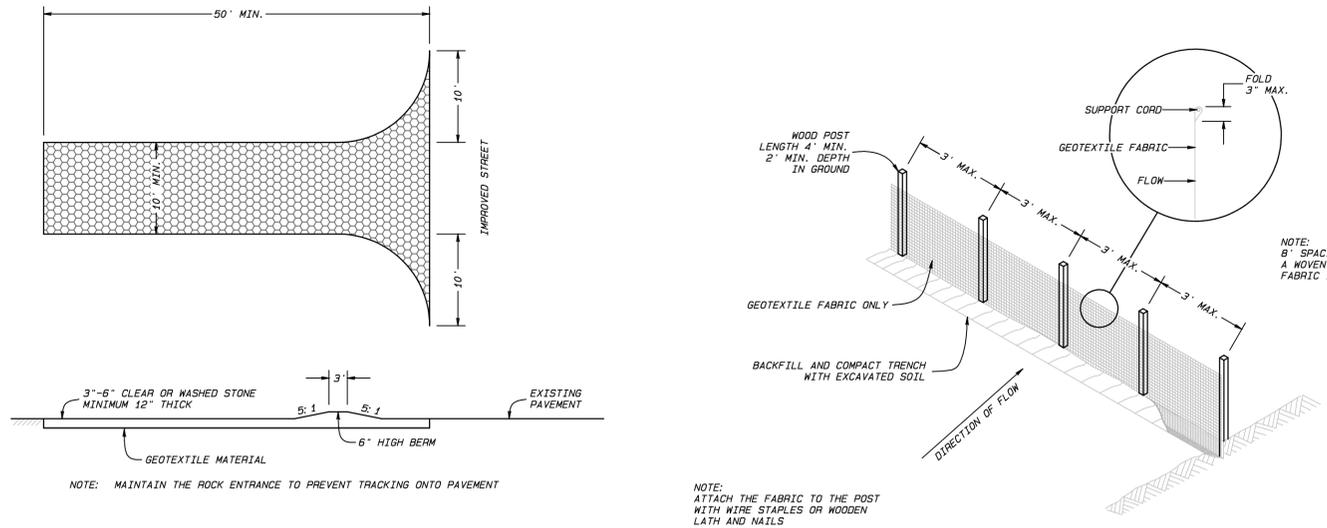
- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
  - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
  - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
  - THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCE AS CONDITIONS DEMAND.
  - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
  - OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED.

**CONSTRUCTION SEQUENCE:**

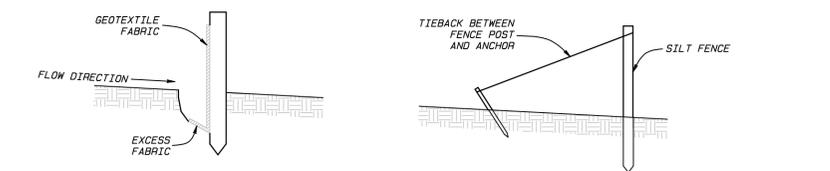
- PHASE 1
- Install construction entrance/exit(s).
  - Prepare temporary parking and equipment storage area.
  - Install silt fencing where indicated.
  - Construct the vegetated infiltration swales & corresponding silt fencing.
- HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM AN INSPECTION OF BEST MANAGEMENT PRACTICES (BMP'S). GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT A STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- Clear and grub the site.
  - Begin grading the site.

- PHASE 2
- Temporarily seed denuded areas.
  - Install utilities, underdrains, storm sewers.
  - Install matting/rip-rap around outlet structures per detail.
  - Install inlet protection around indicated storm sewer inlets.
  - Stabilize all areas that are to be seeded and able to be brought to finished grade with seeding/mulch, sod, or approved equal.
  - Stabilize all areas that are to be paved and that are able to be brought to subgrade elevation with compacted base material.
  - Grade all possible areas while maintaining diversions and basins.
  - Stabilize all areas that are to be seeded and able to be brought to finished grade with seeding/mulch, sod, or approved equal.
  - Stabilize all areas that are to be paved and that are able to be brought to subgrade elevation with compacted base material.
  - Maintain 70% stabilization within disturbed areas.

- PHASE 3
- Backfill and stabilize diversions and swales.
  - Pave site.
  - Complete grading.
  - Remove all temporary erosion and sediment control devices (only if site is stabilized).

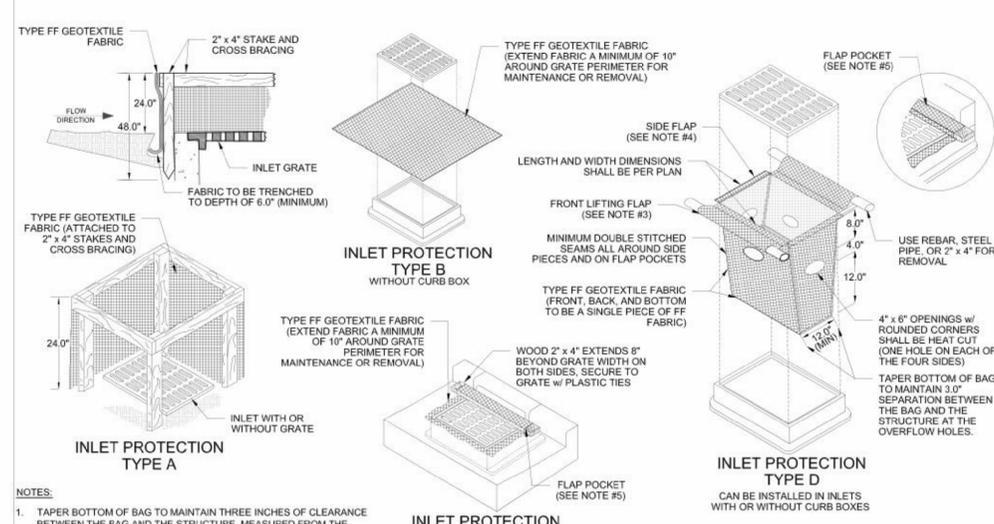


**STONE TRACKING PAD**  
FOR MORE INFORMATION, SEE DNR BMP TECH STANDARD 1057



**TRENCH DETAIL** and **SILT FENCE TIE BACK**  
WHEN REQUIRED BY ENGINEER

**FIGURE 1. INLET PROTECTION TYPES A, B, C AND D**



- NOTES:**
- TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
  - GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.
  - FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
  - SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
  - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- MAINTENANCE NOTES:**
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

1060  
TECHNICAL STANDARD NO.  
08/2014  
REVISION DATE  
NOT TO SCALE

|  |                     |             |              |           |                             |
|--|---------------------|-------------|--------------|-----------|-----------------------------|
| <b>Combs &amp; Associates</b>                                      | • LAND SURVEYING    | DATE        | 08/10/20     | REVISIONS | 08/18/20 Storm Pmt Det. AFG |
|  | • LAND PLANNING     | BY          | BFG          |           |                             |
|  | • CIVIL ENGINEERING | APPROVED    | AFG          |           |                             |
| 109 W. Milwaukee St.<br>Janesville, WI 53548<br>www.combsurvey.com |                     | PROJECT NO. | 120-295      |           |                             |
|  |                     | TEL:        | 608 752-0575 |           |                             |
|  |                     | FAX:        | 608 752-0534 |           |                             |

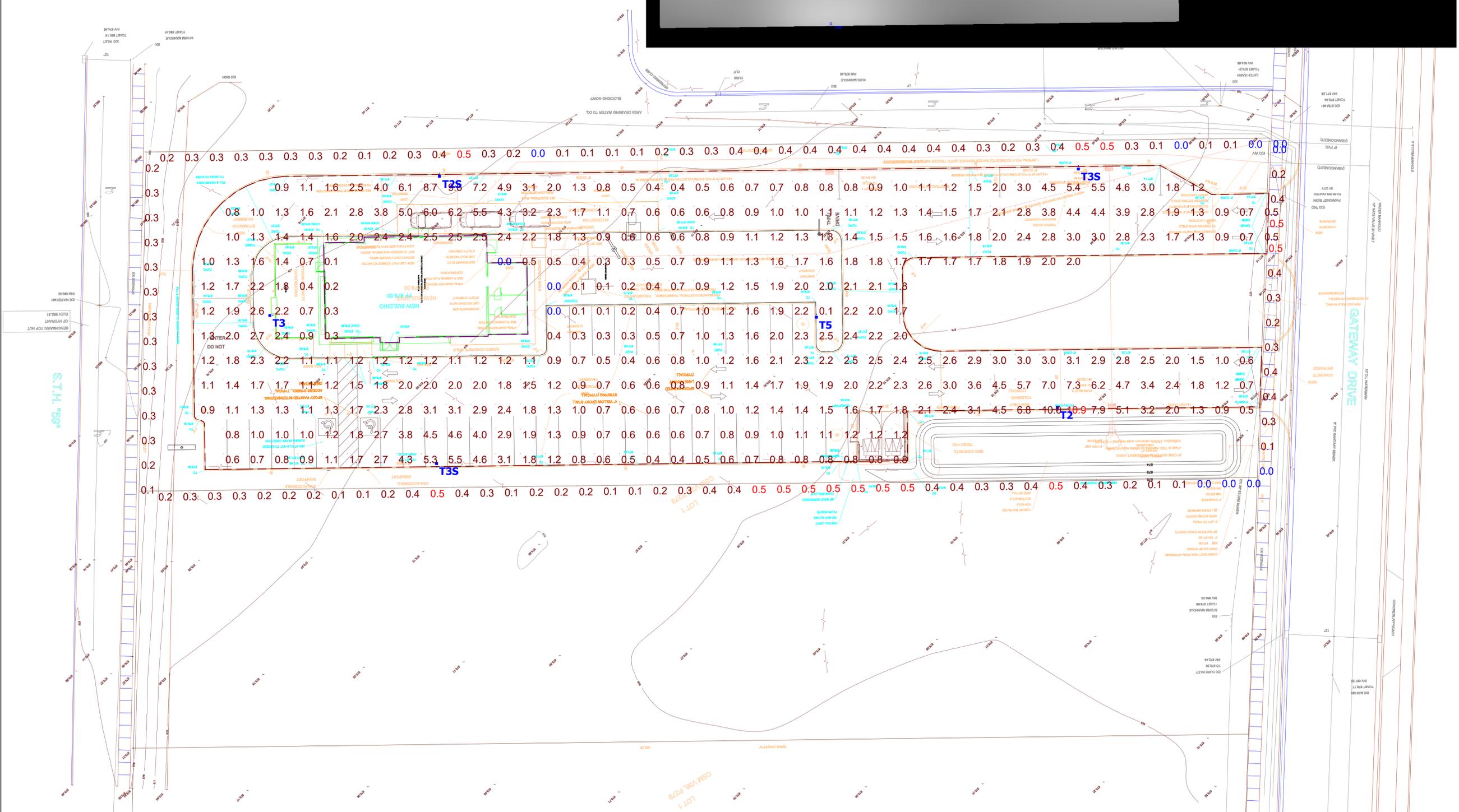
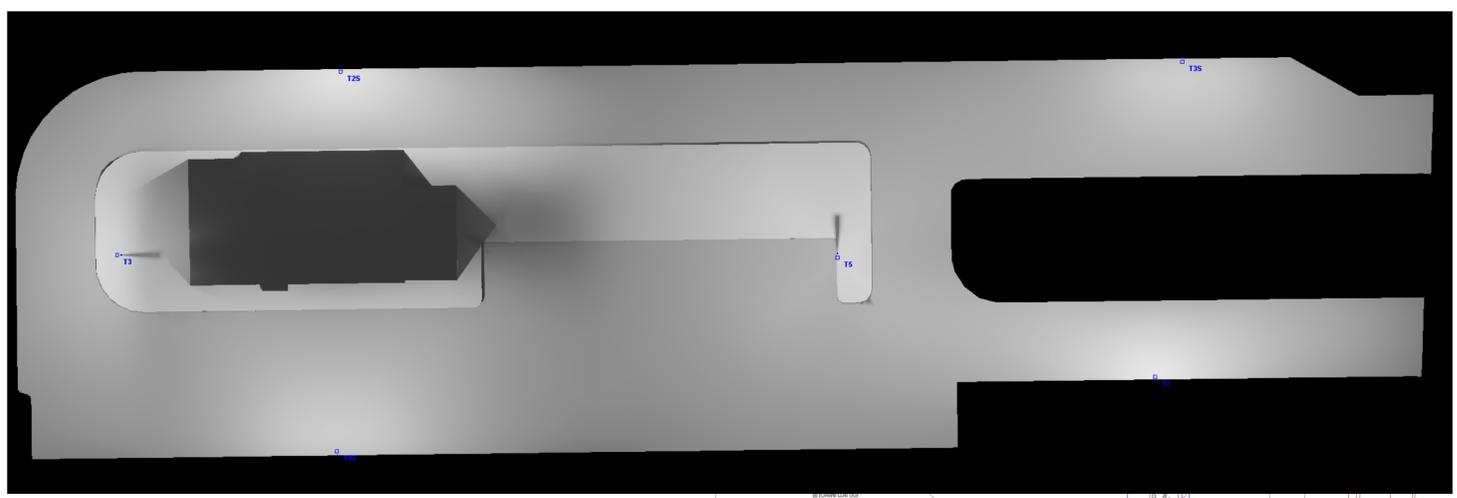


| Symbol | Label | Quantity | Manufacturer   | Catalog Number             | Description  | Lamp   | Number Lamps | Filename                       | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|----------------|----------------------------|--|--|--------------|--------------------------------|-----------------|-------------------|---------|
|        | T2S   | 1        | Gardco         | ECF-S-48L-1.2A-NW-G2-2-HIS | EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE 2-HIS OPTIC, House-side Internal Shielding | (3) LEDIGINE SLD LIGHT ARRAY(S) DRIVEN AT 1200mA | 1            | ECF-S-48L-1.2A-NW-G2-2-HIS.ies | 15796           | 0.95              | 182.71  |
|        | T2    | 1        | PHILIPS GARDCO | ECF-S-48L-1.2A-NW-G2-2     | EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE 2 OPTIC, No Shield                         | (3) LEDIGINE SLD LIGHT ARRAY(S) DRIVEN AT 1200mA | 1            | ECF-S-48L-1.2A-NW-G2-2.ies     | 20624           | 0.95              | 182.71  |
|        | T3S   | 2        | Gardco         | ECF-S-48L-1.2A-NW-G2-3-HIS | EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE 3-HIS OPTIC, House-side Internal Shielding | (3) LEDIGINE SLD LIGHT ARRAY(S) DRIVEN AT 1200mA | 1            | ECF-S-48L-1.2A-NW-G2-3-HIS.ies | 16076           | 0.95              | 182.71  |
|        | T3    | 1        | PHILIPS GARDCO | ECF-S-32L-700-NW-G2-3      | EcoForm Area LED ECF - Small, 32 LED's, 4000K CCT, TYPE 3 OPTIC, No Shield                         | (2) LEDIGINE SLD LIGHT ARRAY(S) DRIVEN AT 700mA  | 1            | ECF-S-32L-700-NW-G2-3.ies      | 8662            | 0.95              | 72.9    |
|        | T5    | 1        | PHILIPS GARDCO | ECF-S-48L-1.2A-NW-G2-5W    | EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE 5W OPTIC, No Shield                        | (3) LEDIGINE SLD LIGHT ARRAY(S) DRIVEN AT 1200mA | 1            | ECF-S-48L-1.2A-NW-G2-5W.ies    | 21566           | 0.95              | 182.71  |

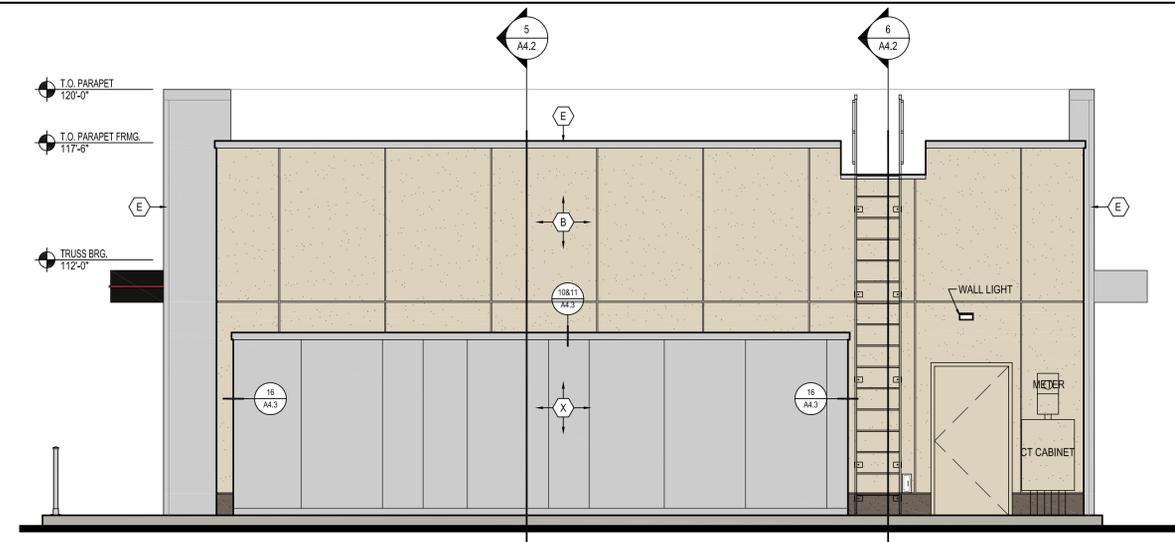
1. Reflectances 80/50/20 CEILING WALL FLOOR SURFACE REFLECTANCES
2. Calculations Points Set at 0' AFF
3. Fixture Mounting Height: 22' AFF
4. Calc Point Spacing: 10' X 10'

THE LIGHTING CALCULATIONS PROVIDED IN THIS REPORT APPROXIMATE THE LIGHT LEVELS EXPECTED WITHIN THE SPACE BASED ON AN OPEN ENVIRONMENT AND BASED ON INFORMATION PROVIDED TO MEGLIO AND ASSOCIATES. ACTUAL PERFORMANCE MAY VARY IN PRACTICAL APPLICATION. PLEASE VERIFY THE DATA LISTED TO ENSURE ACCURACY. ANY MISSING FACTORS, INFO, OR VARIANCE IN COLOR/COMPOSITION OF WALLS, CCT, SPACING, AND ANY OTHER SUBSTANTIAL FACTORS OR CHANGES PROVIDED IN DRAWINGS WILL VOID THIS CALCULATION AND A NEW CALCULATION WILL NEED TO BE MADE. THIS LAYOUT IS MEANT TO SHOW FIXTURE QUANTITY AND LUMENS PERFORMANCE. NOT TO BE USED TO SCALE FOR INSTALLATION PURPOSES.

| Statistics    |        |        |         |        |         |         |
|---------------|--------|--------|---------|--------|---------|---------|
| Description   | Symbol | Avg    | Max     | Min    | Max/Min | Avg/Min |
| Calc Zone     | +      | 1.8 fc | 10.9 fc | 0.0 fc | N/A     | N/A     |
| PROPERTY LINE | +      | 0.3 fc | 0.5 fc  | 0.0 fc | N/A     | N/A     |

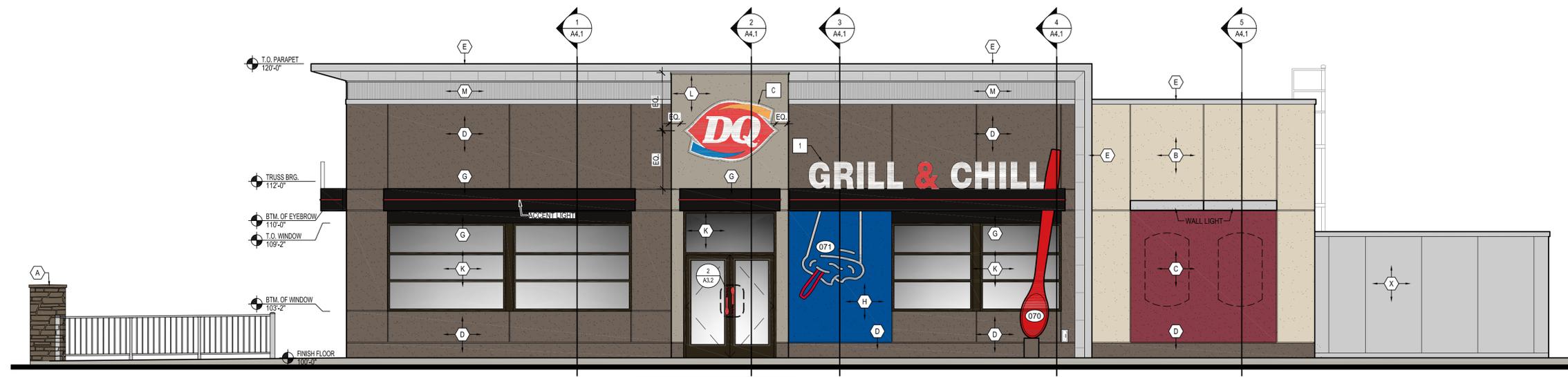


DAIRY QUEEN



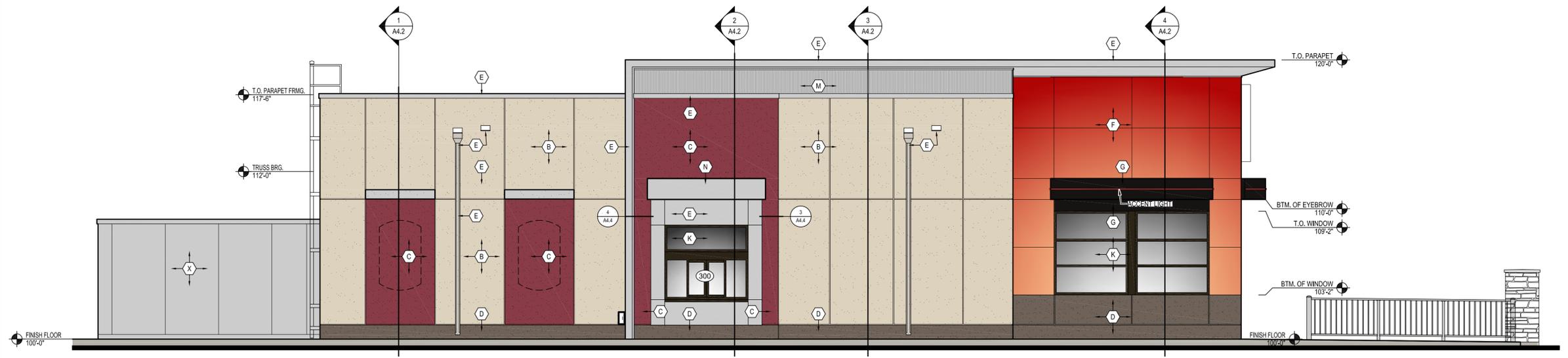
1 FRONT ELEVATION  
A3.1 SCALE: 1/4" = 1'-0"

2 REAR ELEVATION  
A3.1 SCALE: 1/4" = 1'-0"



NOTE: THE DO RED SPOON HANDLES HAVE SPECIAL INSTALLATION REQUIREMENTS. ALUM. STOREFRONT MFG. MUST COORD. LOCK & HANDLE, LOCATION & HEIGHTS

3 ENTRANCE ELEVATION  
A3.1 SCALE: 1/4" = 1'-0"



4 DRIVE-THRU ELEVATION  
A3.1 SCALE: 1/4" = 1'-0"

NEW BUILDING FOR:  
**DQ**  
**GRILL & CHILL**  
INTERSECTION OF GATEWAY DRIVE  
AND CHICAGO STREET  
MILTON, WISCONSIN 53563  
PARCEL # 257 159100001  
AMERICAN DAIRY QUEEN  
MINNEAPOLIS, MN U.S.A.  
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WISCONSIN ARCHITECT LICENSE NUMBER  
11875-5

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In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes. Copyright © 2020 by John S. Odum, Architect. All rights reserved. No part of this drawing may be reproduced by photocopy or by any other means, or stored, processed, or transmitted in or by any computer or other systems without the prior written permission of the Architect.

ISSUE DATE: 08/11/20  
REVISION DATE:  
08/11/20 ORIGINAL ISSUE

**ELEVATIONS**

SHEET NUMBER:  
**A3.1**

